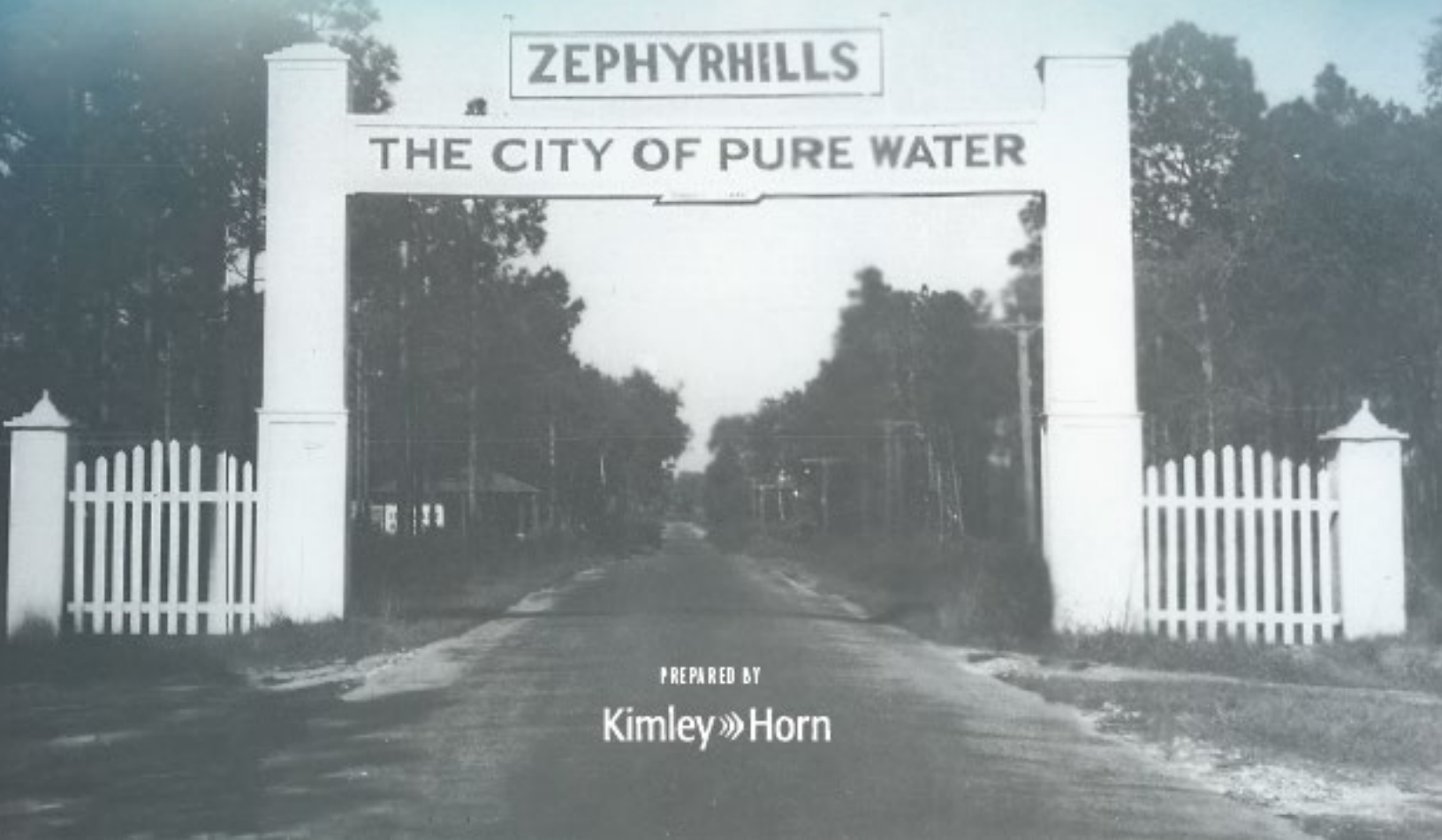




DESIGN STANDARDS

2019



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CHAPTER 1: INTRODUCTION & VISION

The City's vision for the CRA District ("District") is to create a vibrant, walkable environment that can attract and support a diversity of new residential, office, retail uses, and employment. Accomplishing this requires a built form that encourages pedestrian activity by enhancing the public realm. Creating and developing places for people to gather, streetscape and building features that respond to the pedestrian scale are major goals of the Design Standards. Redevelopment in the CRA District will be architecturally and visually compatible with the City's historic character, while still reflecting the best in contemporary design and development practices.

Good Design is the Starting Point for a Great Community

As new development and redevelopment occur, the conditions in the District will invariably change and possibly transform the physical, economic, and social fabric of the surrounding neighborhoods. The sustainable growth of Downtown Zephyrhills relies on the manner in which the residential areas, activity centers, transportation network, commercial buildings, and natural resources are coordinated and designed. These changes are expected to play a pivotal role in providing Downtown, as well as the District, with a diverse residential base that will need to be supported by complementary public amenities- neighborhood parks, expanded school facilities, cultural

facilities, neighborhood retail, and upgraded infrastructure facilities.

Building off of the Community Redevelopment Area Master Plan, the Zephyrhills CRA District will provide an opportunity for revitalization of a mixed-use environment that recognizes its economic importance in Pasco County, its unique situation as the historic core of the surrounding area and its existing residential, business, and recreational uses.

The purpose of these **Design Standards** is to promote revitalization of the District by (See Figure 1: Streetscape Vision):

- Supporting the existing businesses and residents and intertwine them into a mixed-use district with compatible new development and redevelopment that provides economic benefit to the City.
- Encourage mixed-use development including new medical and general office, housing, employment opportunities, and pedestrian oriented retail with a design character and scale that is compatible with the existing surroundings. New development will incorporate features that respect the area's architectural heritage while also introducing modern features that complement the existing urban framework.
- Create a positive image for the District that will stimulate private and public investment.
- Institute strong visual and physical connections to the historic downtown core and the surrounding areas such as Zephyr Park.
- Create a unifying theme for the various districts (neighborhoods) within the Community Redevelopment Area.

It is understood that due to the nature of the historic 5th Avenue corridor/gateway into the core downtown area, additional standards may be developed and or provided as part of these Standards.

FIGURE 1: STREETSCAPE VISION



OVERVIEW

Zephyrhills is known as the “City of Pure Water” and this is reflected in the City’s logo and its overall development theme. The City has grown in an historic development pattern, typified within the downtown area. This area, primarily encompassing the Community Redevelopment Area (CRA), includes a grid-style street pattern, mix of uses, neighborhoods located in close proximity to and supporting the urban core, variety of parks (location, type and amenities) and an existing high-quality tree canopy. The Design Standards will ensure that public and private development projects implement the Goals, Objectives, Policies and Vision for the Zephyrhills Community Redevelopment Agency. The Standards will provide a framework for:

- Enhancing the quality of the built environment
- Achieving quality design
- Protecting and improving property values
- Providing investor and property owner confidence through design continuity
- Creating high standards for design and construction of aesthetically pleasing atmosphere secure for pedestrian activity resulting in an energetic social environment and profitable business setting.

The Design Standards are intended to promote high quality re-development in the City’s urban core while, protecting and enhancing the area’s existing assets similar to the conceptual plan provided in Figure 2. Specifically, the Design Standards:

FIGURE 2: CONCEPTUAL DOWNTOWN PLAN



- A. Are intended to supplement and where applicable, supersede the City's development standards.
- B. Are not guidelines but are adopted as enforceable standards and incorporated as part of the City's codes.
- C. Apply to all properties, residential and non-residential, public, and private within the boundaries of the CRA as illustrated in Figure 4: Location Map, as may be amended.
- D. Are intended to form a unifying theme(s) for the various districts within the City of Zephyrhills Community Redevelopment Area.
- E. Are intended to encourage and incentivize multi-story development, especially on corner lots in high traffic locations.

Design Standards may be perceived as being relatively general in nature; however, they form the legal basis for development and redevelopment within the City of Zephyrhills Community Redevelopment Area. Design Standards are policy documents that account for the relationships among the various community issues, including: building design, pedestrian connectivity, parking, and landscaping. The Design Standards are organized into four (4) categories: Standards of General Applicability, Commercial Standards, and Residential Standards as described below:

- A. **Standards of General Applicability.** Standards of General Applicability encompass the CRA as a whole and are not specific to either commercial or residential development and redevelopment. These Standards are more general and or broad in nature.
- B. **Commercial Standards.** Commercial Standards are those that apply to Commercial (i.e., non-residential: commercial, retail, office or similar) and Multifamily (more than two residential dwelling units within a single building) development within the CRA boundary. Commercial Standards also apply to vertically integrated mixed-use development.
- C. **Residential Standards.** Residential Standards are those that apply to more traditional forms of residential development including single family and two-family development.
- D. **Public Standards-** Public Standards may also be referred to and include Public Design features, are intended to focus on strengthening the image of the Community Redevelopment Area by visually unifying the public realm that is pleasant, attractive and pedestrian-friendly, and where local businesses can flourish. The Standards address streetscape elements within the right of way and landscape zones, such as paving, landscaping, lighting, traffic signals, site furnishing, cross walks and intersection treatments, transit facilities, signage and gateways.

The format of these Design Standards is as follows:

- *Topic* – the broad category.
- *Subject* – the specific element within the category.

- *Vision* – the guiding elements and principles serving as the basis for the Standard. Guidelines for the subject may also be provided in the Vision.
- *Standard* – the specific, regulatory requirement.

Unless otherwise authorized through the use of waiver, variance or Developer's Agreement, these standards shall apply to all public projects and private developments within the City of Zephyrhills Community Redevelopment Area as depicted within the Master Plan.

REGULATORY CONTEXT

This document builds upon the current CRA Master Plan and Land Development Code (LDC) of the City. It shall be applied to all projects contained within the CRA District.

APPLICATION OF THE DESIGN MANUAL

- The requirements outlined in this design manual shall apply to all properties within the Community Redevelopment District.
- All development and redevelopment, including exterior site and/or building improvements, within the CRA shall be reviewed for compliance with these Standards at the time of site plan or building permit review.
- This Design Manual is intended for use in conjunction with the requirements of the City of Zephyrhills Land Development Code.
 - Where the Land Development Code conflicts with the Design Manual or remains silent, the stricter shall prevail.
 - Where the Design Manual remains silent, refer to the applicable requirements in the Land Development Code.
- Interpretations of the Design Manual shall be provided by the CRA Director. The CRA Director may call upon other City Departments and or technical experts in the interpretation of the Standards as may be necessary.

PROCESS

The Process for review of projects, improvements or similar shall require submittal of a Site Specific Redevelopment Plan. The following provides an outline of the process for review of all projects within the District.

- Pre-application conference with CRA and Planning Division Director (recommended); also includes the Historic Preservation Board (HPB) as applicable. During this conference, size of project will determine whether it is to be considered a Catalyst Project.
- Submit site specific redevelopment plan to Planning Department. For Catalyst Projects, submission shall be accompanied by a Developer's Agreement. Note, it is understood that City standards may not be waived except through a formal review and approval process consistent with City requirements.
- Site Plan Review Committee reviews, provides comments.
- Submit site development plans to Planning Division.
- Submit building construction plans to Building Division.
- Preliminary review and comment of site development plans and building construction plans.
- Resubmit site development plans and building construction plans for final review and approval Development order issued.

Development Review Process for improvements NOT requiring submittal of a Site Specific Redevelopment Plan (any exterior structure improvements) include the following:

- Pre-application conference with CRA, Planning and Building staff (recommended).
- Submit building construction plans/permit application to Building Division.
- Permit Issued.

WAIVERS

Applications for waivers, modifications and or variances to these Standards shall be reviewed on a case by case basis and shall be evaluated in a manner which gives consideration relevant to characteristics of the use, the rest of the development, and surrounding area – including those characteristics related to compatibility and physical feature or infrastructure constraints. It is understood the approval of any waivers or similar does not constitute precedence or justification in the review of other, subsequent applications.

CATALYSTS PROJECTS

A catalysts project shall be defined as any development or redevelopment project on a site greater than or equal to three (3) acres; greater than or equal to 50,000 gsf (of proposed building), or greater than or equal to 15 dwelling units. For catalysts projects in the CRA District, the proposed applicant shall enter into a Developer's Agreement with the City. The Developer's Agreement will outline specific design considerations, and schedule and phasing plans consistent with the overall design intent of the CRA District as defined herein the Manual. This Developer's Agreement is intended to provide reasonable flexibility to the applicant in interpreting the intent of the design guidelines given the scale of the proposed project. A conceptual catalyst project is illustrated in Figure 3 (See Figure 3: Conceptual Redevelopment Project).

THE COMMUNITY REDEVELOPMENT AREA (CRA) BOARD

All new development and redevelopment within the CRA (See Figure 4: Location Map CRA Boundary) shall be submitted to the CRA Board for review and approval consistent with these Guidelines and Standards. The CRA Board, upon review and recommendation by the CRA Director and where noted below, the Public Works Director and or Planning Director, shall review and make recommendations to the City of Zephyrhills Planning Advisory Board and or City Council.

FIGURE 3: CONCEPTUAL REDEVELOPMENT PROJECT



The CRA Director may request comments and analysis from other City staff as well as experts in the subject matter in forming their recommendation. *For historically significant properties or those located within the Historic District, review and approval prior to development or redevelopment shall be obtained from the Historic Preservation Board (HPB).*

Except as waived by the CRA Board upon recommendation of the CRA Director, all development standards shall be complied with as adopted. The CRA Director, upon review and recommendation from the City of Zephyrhills Site Plan Review Committee, approve certain minor modifications or deviations of these standards. The CRA Board may waive or modify the standards based on alternative design approaches which achieve a comparable or enhanced implemented standard, or waived based on criteria established for variances through the City's Land Development Code (LDC) including but not limited to the following:

- Waiver of the standard shall not be used as a precedent for other waiver requests,
- Insufficient area, right-of-way or similar is available to provide the standard,
- Implementation of the standard would create an undue hardship on the property or use not generally applied to other properties within the same block,
- Implementation of the standard would conflict with existing or proposed public infrastructure including but not limited to roadways, sidewalks, water, wastewater, electricity, cable, natural gas, or similar.

Approval of development and redevelopment projects may also require the review and approval of the City of Zephyrhills Planning and Zoning Advisory Board. It is incumbent upon the property owner, developer, applicant and or authorized representative to obtain approvals consistent with these and other adopted standards and codes of the City.

LEGEND

□ CRA BOUNDARY

NEIGHBORHOOD DISTRICTS:

- PLAZA DISTRICT
- HERCULES
- OAKSIDE
- HISTORIC JEFFRIES
- HISTORIC ABBOTT
- ZEPHYR LAKE
- MOORE'S ESTATE

STREETS:

- EILAND BLVD
- FORT KING RD
- GEIGER RD
- EXCEL ST
- 18TH AVE
- 17TH AVE
- 16TH AVE
- 15TH AVE
- 14TH AVE
- 13TH AVE
- 12TH AVE
- 11TH AVE
- 10TH AVE
- 9TH AVE
- 8TH AVE
- 7TH AVE
- 6TH AVE
- 5TH AVE
- 4TH AVE
- 3RD AVE
- 2ND AVE
- 1ST AVE
- 18TH ST
- 17TH ST
- 16TH ST
- 15TH ST
- 14TH ST
- 13TH ST
- 12TH ST
- 11TH ST
- 10TH ST
- 9TH ST
- 8TH ST
- 7TH ST
- 6TH ST
- 5TH ST
- 4TH ST
- 3RD ST
- 2ND ST
- 1ST ST
- PLUM ST
- GALL BLVD
- CR 54
- SR 54
- BAUER CT
- CORAL ST
- SOUTH AVE
- A AVE
- B AVE
- C AVE

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AESX

ZEPHYRHILLS CRA
CITY OF ZEPHYRHILLS, FL

COMMUNITY REDEVELOPMENT AREA
NEIGHBORHOOD DISTRICTS

0 200 400 800 FT

Kimley **Horn**

CHAPTER 2: STANDARDS OF GENERAL APPLICABILITY

Provide Guidelines and Standards that are to be applied on a CRA District-wide basis regardless of the property / project's intended use (i.e., residential or non-residential). Reference(s) are provided below each Standards if there is additional information and requirements for specific types of uses.

SITE ACCESS, CIRCULATION AND PARKING STANDARDS

Vision: To enhance the vitality of the community, streets, and other public outdoor spaces within the district shall be functional, attractive, and designed to accommodate multiple modes of travel and where possible incorporate Complete Streets components.

VEHICULAR ACCESS - DRIVEWAYS

- A. For properties fronting Gall Boulevard and 5th Avenue, vehicular access shall be provided from side streets or alleys, unless no such legal means of access is available. Where no such access is available, as determined by the CRA Director, access shall be allowed from Gall Boulevard and 5th Avenue.
- B. All projects shall be limited to the minimum number of access points and minimum driveway widths allowed in accordance with the Florida Department of Transportation (FDOT) standards or the City of Zephyrhills Land Development Code, whichever may apply. However, no more than two primary accesses shall be permitted except where approved by the CRA director. The CRA Director shall receive comments and recommendations from the city's Public Works Director.
- C. All driveways shall be constructed using concrete, asphalt, pavers or similar. Grass, shell, gravel, dirt, millings, or similar driveway material are not permitted.
- D. Sidewalks or similar where they cross a driveway, access or alley, shall be delineated through a change in material colors (i.e., brick ribbon), change in color or alternative standard to ensure enhanced visibility and awareness.
- E. The use of permeable/pervious driveway materials (interlocking pavers, brick, or other similarly textured materials) to reduce surface run-off is encouraged, subject to review and approval by the City's Public Works Director.
- F. Number of Driveways. The following table sets forth the maximum number of driveways based on the amount of lot frontage. Driveways shall be a minimum of 30 feet apart. The Public Works Director, or assigned designee, may require a greater distance between driveways if it is in the best interest of public safety. When appropriate, all new driveways shall be placed directly across from driveways on the opposite side of the street to enhance traffic flow and public safety.

Maximum Number of Driveways

Lot Frontage	Maximum Number of Driveways
Up to 120 feet	1
101 to 299 feet	2
Each additional 300 feet	1 additional

ALLEYS

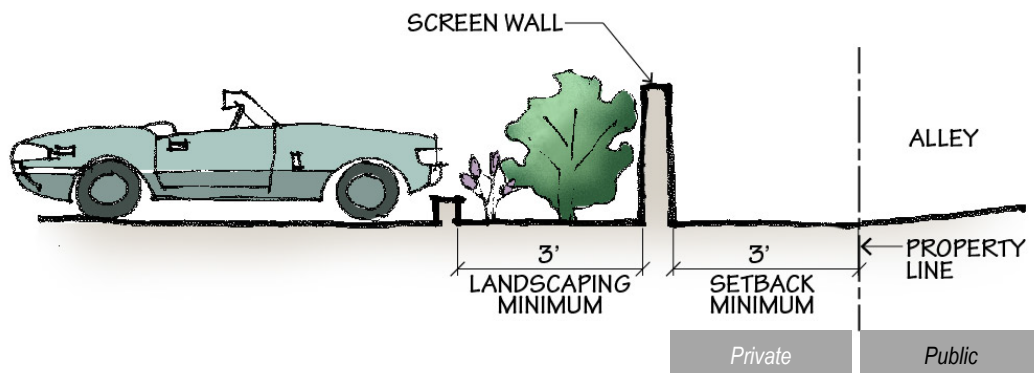
FIGURE 5: ALLEYS

Vision: In urban areas, alleys contribute to the transit network, making the primary storefronts and streetscape a more pleasant environment, by moving necessary service and delivery areas to the rear of a site. A system of alleys is established in Zephyrhills; however, the width, maintenance, and appearance of the alleys is inconsistent. As properties along the alleys redevelop, the following standards shall be required:

- A. Development and redevelopment shall not be allowed to vacate existing alleys, rights-of-way or similar except where approved by the City Council and it is determined the mobility network, accessibility and or necessary city services shall not be negatively impacted.
- B. Alleys shall be constructed with either asphalt, concrete or brick pavers. With recommendation from Public Works Director, the CRA Board shall be permitted to approve the use of concrete ribbons to delineate the travel surfaces of the alleys in lieu of using concrete across the entire alley width (See Figure 5: Alleys).
- C. Properties shall be permitted to provide a streetwall (or screenwall) between the alley and the parking area to help define the alleyway area. A three (3) to five (5)-foot wide landscape strip shall be provided on the inside of the wall (See Figure 6: Parking Lot Screening at Alley).
 - 1. Walls used in this manner shall be designed to imitate the architecture of the building.



FIGURE 6: PARKING LOT SCREENING AT ALLEY

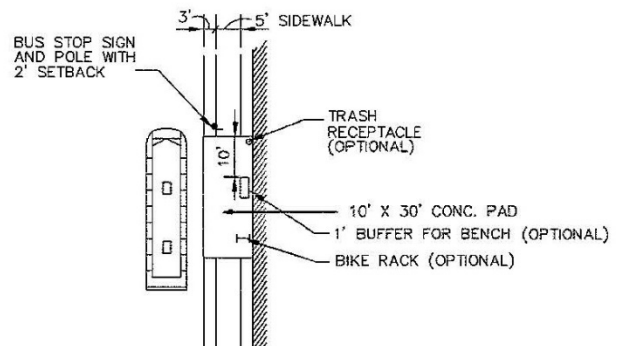
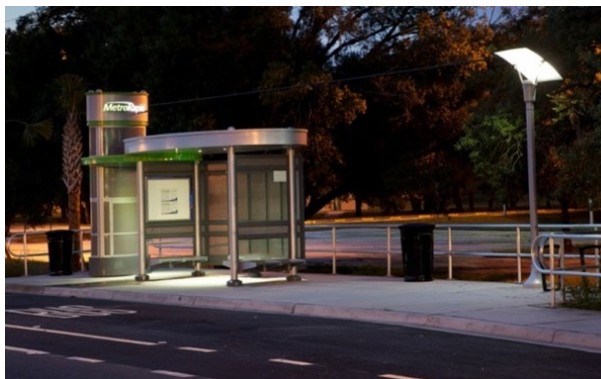


TRANSIT SHELTERS

Vision: Transit shelters (See Figure 7: Typical Transit Shelter Features) are intended to accommodate and orient pedestrians and transit riders, by providing amenities such as: information kiosks, bicycle storage, trash receptacles, seating, ADA accessibility, ample sidewalk space, and shelter from weather elements.

- A. New development and redevelopment shall require coordination with the Public Works Director for transit accessibility.
- B. Transit shelters and stops shall adhere to the guidelines established in the Pasco County Public Transportation (PCPT) Transit Infrastructure Guidelines Manual. The City/CRA desires the shelters to include black iron, incorporating water themes to reflect the City's "tribute to water"; other components should include benches, receptacles and appropriate site/pedestrian lighting. In concert with PCPT, features should be black or other color approved by the CRA, with classic architectural features complementing the neighborhood in which it is located.

FIGURE 7: TYPICAL TRANSIT SHELTER FEATURES



- C. Transit stop facilities shall be linked to public and on-site pedestrian systems; however, waiting areas shall be set back from the sidewalk to preserve pedestrian flow. It is understood seating areas with features shall be a minimum 10' x 30' to accommodate the features (shelter, bike rack, signage, seating, etc.)
- D. Transit stops shall have night lighting.
- E. Shelters, benches, kiosks, and other furniture shall be of high quality and attractive materials as determined by the Public Works Director.
- F. Bicycle storage lockers and bicycle racks shall be provided as necessary for the convenience of bicyclists using transit. There shall be no less than 3 bicycle racks at each transit stop.

LIGHTING (INCLUDING SIGNALS)

GENERAL

- A. Lighting and signal assemblies shall be appropriately scaled to relate to the space they serve. For instance, roadway and parking lot lighting might have an overall height of over 20 feet, while lighting assemblies in pedestrian oriented areas such as plazas or dining areas might be between 12 and 15 feet in height.
- B. Along streets roadway light fixtures and pedestrian scale fixtures should be consolidated onto one pole to reduce the number of poles needed.
- C. Light poles shall be located within landscaped areas whenever practical.

- D. Lighting to highlight building architecture, landscape features, plazas, and other special features is encouraged as long as the light source is concealed or screened.
- E. Traffic Signal Mast Arms shall be designed to have an ornamental base and fluted pole. Designs including colors shall adhere to the Street Lighting standards below, except where otherwise approved by the CRA Director and Public Works Director. The location shall be according to the Florida Department of Transportation (FDOT) Design Standards. The mast arms shall have a bent arm configuration and black finish to blend into the background throughout the entire district. The controller cabinet assembly shall comply with FDOT specifications. The controller cabinet shall not impede pedestrian movement along the sidewalks and shall have a black finish to blend into the background throughout the entire district.

FIGURE 8: TYPICAL STREET LIGHTING

STREET LIGHTING

Vision: Lighting is an important element for consideration within the City. Adequate light levels shall be maintained to provide the proper character and ambience throughout the City (example: Zephyrhills Library on 8th Street). It is intended that all new development and redevelopment have updated street lighting (See Figure 8: Typical Street Lighting).



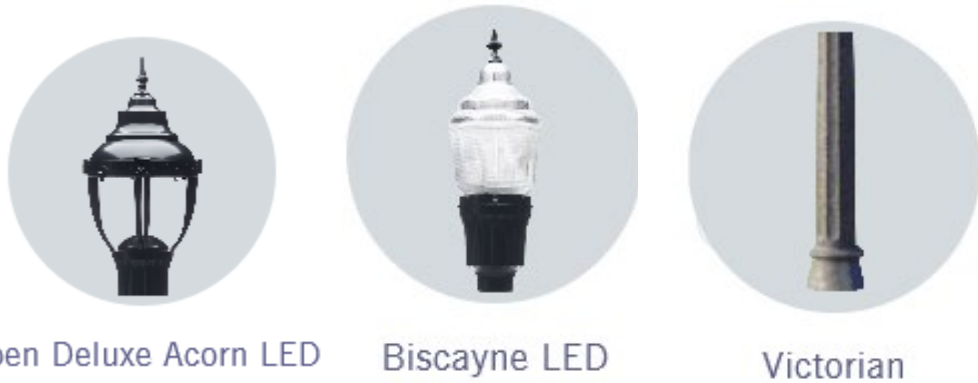
- A. Street lighting and lighting mounted on buildings shall be designed and installed to illuminate with a smooth, even pattern, without glare or light flow intrusion onto adjacent properties.
 - 1. Fixtures shall be installed per optimum spacing as recommended by the manufacturer but shall not be spaced greater than fifty (50) feet except where otherwise specified by the electrical provider.
 - 2. Light poles shall be consistent with Sec. 7.02.02.06 of the City of Zephyrhills LDC for residential and non-residential uses and designed according to and including the items in Section B below. Illumination provided for vehicle lighting shall not exceed 0.20 foot-candles.
- B. The street lights shall be decorative fixture with a Florida Vernacular style and black finish to provide a classical appearance and create a common design thread for the entire district. All street lights within the district shall include or be designed to accommodate banner arms. Decorative lights shall be installed along the roadway frontage of all non-residential structures.
- C. Lighting fixtures shall conform to the approved list of allowable fixtures including both fixtures and poles as provided by the electrical provider (note, at the time of these standards, Duke Energy is the City's electrical provider). Prohibited fixture types are identified in Figure 9; Permitted fixture types and poles are identified in Figure 10.
- D. No light fixtures shall be placed in a position where existing or future tree canopy will reduce the illumination levels.
- E. Electrical wiring to all site lighting shall be provided underground.

- F. The placement of fixtures, fixture types, and methods of mounting must be approved by the CRA and Public Works Director as part of the lighting plan.
- G. Parking Lot Lights Decorative single light fixtures shall not exceed 20 feet in height (measured from the finished grade to the top of the light fixture).

FIGURE 9: PROHIBITED FIXTURE TYPES (COBRA HEAD AND SHOEBOX EXAMPLE)



FIGURE 10: PERMITTED FIXTURE TYPES AND POLES (PER DUKE ENERGY); TYPICAL STREETSCAPE WITH LIGHTING



PEDESTRIAN LEVEL LIGHTING

Pedestrian level lighting includes lighting within parking lots, along sidewalks, multimodal paths, civic spaces and public gathering spaces; Street Lighting is excluded from this. Pedestrian level lighting shall be required in the above-mentioned areas consistent with the Standard below. In no cases shall this type of lighting exceed twelve (12) feet in height. Bollard or path lighting shall not exceed a 3-foot mounting height (See Figure 11: Example Pedestrian Lighting).

FIGURE 11: EXAMPLE PEDESTRIAN LIGHTING



Pedestrian Light



Pedestrian Light Perspective

TREE PRESERVATION

(Refer to Sec. 7.06.04 of the City of Zephyrhills LDC for Tree Removal Requirements and Sec. 7.06.02 of the City of Zephyrhills LDC for Protected and Grand Trees).

- A. Tree preservation for commercial and residential development, including single-family development, shall follow the requirements as stated within the afore mentioned LDC sections, along with the tree preservation section of these design standards; whichever is most stringent.

GRAND TREES

Grand trees are native mature trees that are an important part of the local Zephyrhills canopy and provide unique and intrinsic value to the general public because of their age, size, and ecological value (See Figure 12: Representative Tree Canopy).

Refer to Section 2.309 for standards of protecting and managing (e.g. trimming) grand trees to maintain their value.

Refer to Section 7.06.02 of the City of Zephyrhills LDC for standards, classifications, and characteristics of Protected and Grand Trees.

FIGURE 12: REPRESENTATIVE TREE CANOPY



CANOPY ROADS

Vision: A Canopy Road is a roadway with canopy trees that border each side of the road while providing a significant amount of canopy over or directly adjacent to the roadway. Preservation and maintenance of healthy trees that compromise Canopy Roads shall help maintain their historic, aesthetic, cultural, and environmental value. In order to designate, preserve, promote, and protect Canopy Roads, Canopy Road Protection Zones and Clear Zones shall be delineated and observed (See Figure 13: Canopy Road Example). Refer to Sec. 7.06.04 of the City of Zephyrhills LDC for Tree Removal Guidelines.

The City Council shall be authorized to designate roads as Canopy Roads and set standards for their implementation through the adoption of an appropriate ordinance. Requests for Canopy Roads may be made by residents, City staff, or other members of the community.

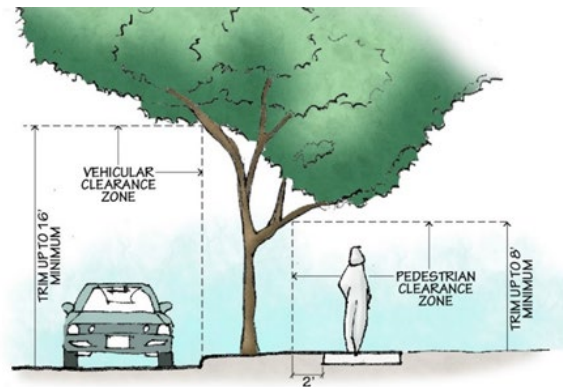
- A. There shall be a designated section of right-of-way along the adjacent private property, onto the adjacent private property for all delineated Canopy Road Protection Zones (See Figure 15: Canopy Road Prioritization Zone).

FIGURE 13: CANOPY ROAD EXAMPLE (7th AVE and 12th ST)

- B. Canopies above a roadway along a Canopy Road shall be trimmed up to sixteen (16) feet above road surfaces for vehicle clearance. It shall also mean the canopy above pedestrian zones be trimmed to eight (8) feet above ground surface and two (2) feet laterally from edge of sidewalk (See Figure 15: Canopy Road Protection Zone).



- C. A Canopy Road shall have a minimum length of one-eighth mile (660 feet) with a minimum of 50% overhead coverage (excluding invasive species) per section of roadway as measured by branching, drip line, shading, and other visual cues; or



1. A Canopy Road shall have a minimum length of one-quarter mile (1,320 feet) with overhead coverage contributing to tree canopy coverage as a percentage of overall roadway length, canopy condition, and composition.
- D. A Canopy Road shall consist of a minimum of 75% native plant species and naturalized plant species.
- E. Canopy Roads shall have appropriate signage to delineate the limits of the Canopy Road.
- F. The City shall be notified prior to any utility line clearing on Canopy Roads, and such proposed maintenance shall be performed under the direct supervision of an ISA Certified Arborist.
- G. Once the above standards are further established the following process for designating Canopy Roads shall be further developed and implemented:
1. A written public meeting notice shall be provided to property owners residing on a potential Canopy Road and the appropriate neighborhood associations.
 - a. The public meeting notice shall detail the Canopy Road standards that would become applicable if the road is designated a Canopy Road.
 - b. The public meeting notice shall be posted on the potential Canopy Road a minimum of 15 days prior to the public meeting.
 2. Requests shall be coordinated by the City of Zephyrhills CRA and Public Works Director and approved by the Zephyrhills City Council.

3. Initial Canopy Roads are listed below and are illustrated on Figure 15: Canopy Roads Prioritization Zone. Additional Canopy Roads shall be illustrated on an updated Canopy Roads Map, which will be maintained by the CRA Director.
 - a. 3rd Street
 - b. 4th Street
 - c. 5th Street
 - d. 11th Street
 - e. 12th Street
 - f. C Ave
 - g. 7th Ave
 - h. 8th Ave
 - i. 16th Ave

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MISCELLANEOUS STANDARDS

HISTORICALLY SIGNIFICANT OR HISTORIC NEIGHBORHOODS

For historically significant properties or those located within the Historic District, review and approval prior to development or redevelopment shall be obtained from the Historic Preservation Board (HPB).

ACCESSORY STRUCTURES

- A. Accessory structures shall be as defined in Section 13.02.00 of the City of Zephyrhills LDC.
- B. If an accessory structure exceeds two hundred (200) square feet in size, the structure shall be constructed to be complimentary with regard to style, design, materials and colors of the principal building. Accessory structure must be smaller than the primary structure. Accessory buildings shall have the same exterior finish as the principal building located on the same lot and shall incorporate at least three similar architectural details found on such principal building into their design. Examples of similar architectural details include, but are not limited to, windows, doors, roof style, cornice detailing, etc.
- C. All accessory structures shall be located to the rear of the principal structure's buildings line. Arbors, pergolas, and trellises are exempt from this requirement.
- D. No prefabricated metal structures are permitted.
- E. Accessory structures shall be located no closer to the side property line than the principal structure.
- F. Accessory structures shall be located no closer than five (5) feet from the alley right-of-way lines.
- G. Accessory structures shall not be permitted as habitable dwellings except when designated as a garage apartment, including accessory dwelling units (ADUs) consistent with City Code. Garage apartments in the CRA:
 - 1. Shall adhere to the architectural standards per these Standards.
 - 2. Shall use materials which complement the architecture of the structure when constructing stairs.
- H. Gazebos, pergolas, and sheds shall be permitted as accessory structures. Outdoor vending machines not allowed if visible from public right-of-way. Shipping containers shall not be permitted as accessory structures, except where they have been architecturally modified to comply with Sec. 2.600 (1)-(6).

DRIVE-THROUGHS

Uses that include drive-throughs (restaurants, banks, pharmacy and others) are primarily intended for vehicular access and discourage pedestrian activities due to their inherent site design requirements.

- A. To mitigate the negative effects of this use in the corridor, drive-throughs shall be subject to the following layout standards. See also Commercial Standards – Site Lighting.
 - 1. Drive-through windows shall not be located between the principal structures and the rights-of-way of public streets (See Figure 16: Drive-through window location). Street walls or other decorative features may be necessary, should the site design require.
 - a. Drive-throughs facing or oriented to 5th Avenue and Gall Boulevard shall not be permitted (see also (re)imagine Gall Boulevard and adopted form based code standards (FBC) specifically *Figure 10 and 11 of the FBC*. Figure 17 below is excerpted from the FBC for reference purposes; Drive-throughs within the FBC shall meet all applicable standards per the FBC including their use (by warrant), Table 12.

- b. Double drive-throughs shall not be permitted, except when located in the Plaza District.

FIGURE 15: DRIVE-THROUGH WINDOW LOCATION (WITH STREET WALL)

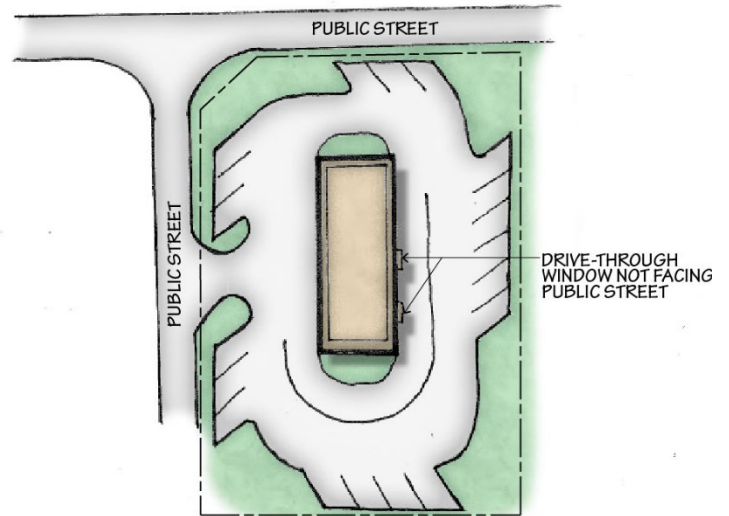
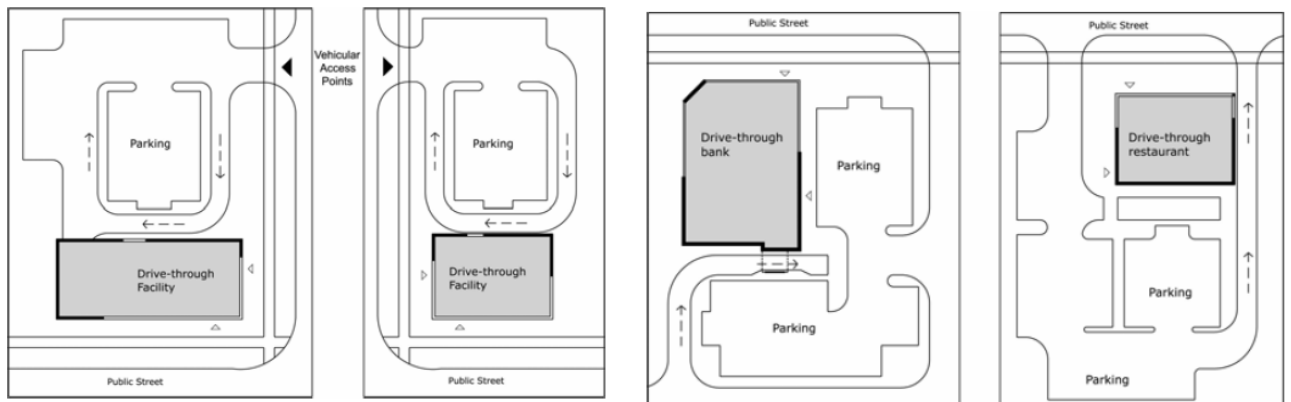


FIGURE 16: EXCERPTS FROM FBC: DRIVE THROUGHS



2. Crosswalks are required if pedestrians can cross the drive-through lane between building and parking area.
3. All stacking and lane requirements shall be provided per the City of Zephyrhills LDC. In no event shall variances to any of the standards contained in this report be granted to circumvent these standards.

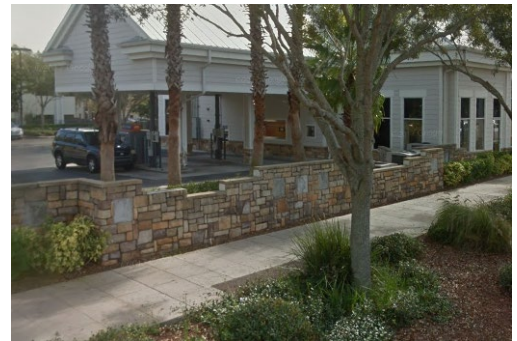
FENCES AND GATES

- A. All gates and fences visible from areas of public access, such as public rights of way, parking lots, and drive-aisles shall be fabricated of high quality, durable, materials to complement the overall development (See Figure 18: Fence Examples). Materials shall be maintained in a high-quality state and free from mold, mildew and damage and as follows:
 1. Shall be constructed of brick, masonry, wrought iron, aluminum, stone, or other approved decorative materials. Wooden fences in areas visible from any roadway shall not be permitted.

Chain link fences are not encouraged in the district and are subject to review and approval by the CRA Board. Vinyl material may be utilized except within the City's historic district. Walls shall be designed to complement the principal building style in materials and colors and shall incorporate landscaping. Agricultural gates of any kind are not permitted in the district.

2. Fences and walls greater than 30 feet in length shall have columns, pilasters or offsets at least every 10 feet. For non-residential uses including commercial, office and industrial, one (1) shrub shall be required for every 2.5 linear feet of fence or wall shall be provided. Shrubs may be clustered or extend along the front of the wall or fence at appropriate spacing.
- B. Walls located between building and street shall not exceed 3'. The walls shall be made of rock or split face block, brick and stucco with decorative cap. Unpainted concrete or concrete block is not permitted.

FIGURE 17: FENCE EXAMPLES



- C. Gate and fence design shall not restrict visibility into areas of public access.
- D. Gates shall be offset from pedestrian pathways to avoid conflicts with the gates swing radius.
- E. Fences shall not be more than 6 feet in height or less than 4 feet in height.

HARDSCAPE/STREETSCAPE

Hardscape and streetscape components set the tone for the community and as such, the type, design and placement shall be reviewed by the CRA Director and Public Works Director for approval. Components of this are included elsewhere in these Standards (i.e., lighting, bike racks, etc); however, additional standards are provided as follows (note the following figures, Figure 19 and Figure 20 Hardscape/Streetscape Examples, provide a visual reference and should be used as a guide for selection of materials; see Key next page):

FIGURE 18: HARDSCAPE/STREETSCAPE EXAMPLES



FIGURE 19: HARDSCAPE/STREETSCAPE EXAMPLES CONTINUED



- A. Street Lights
(black/dark color, fluted base)
- B. Decorative Lighting Fixtures
- C. Landscape Planters/Tree & Plant Grates
- D. Light Pole Accessories (Planters, Banners)
- E. Seating/Benches
(black/dark color, classic/traditional style)
- F. Variations in Sidewalk Materials



The following Figure 21 and Figure 22 illustrate the various pieces and interactions between the public spaces (roadways) and streetscape/hardscape elements along a typical (local) roadway and local intersection.

FIGURE 20: STREETSCAPE EXAMPLE COMPONENTS & DESIGN

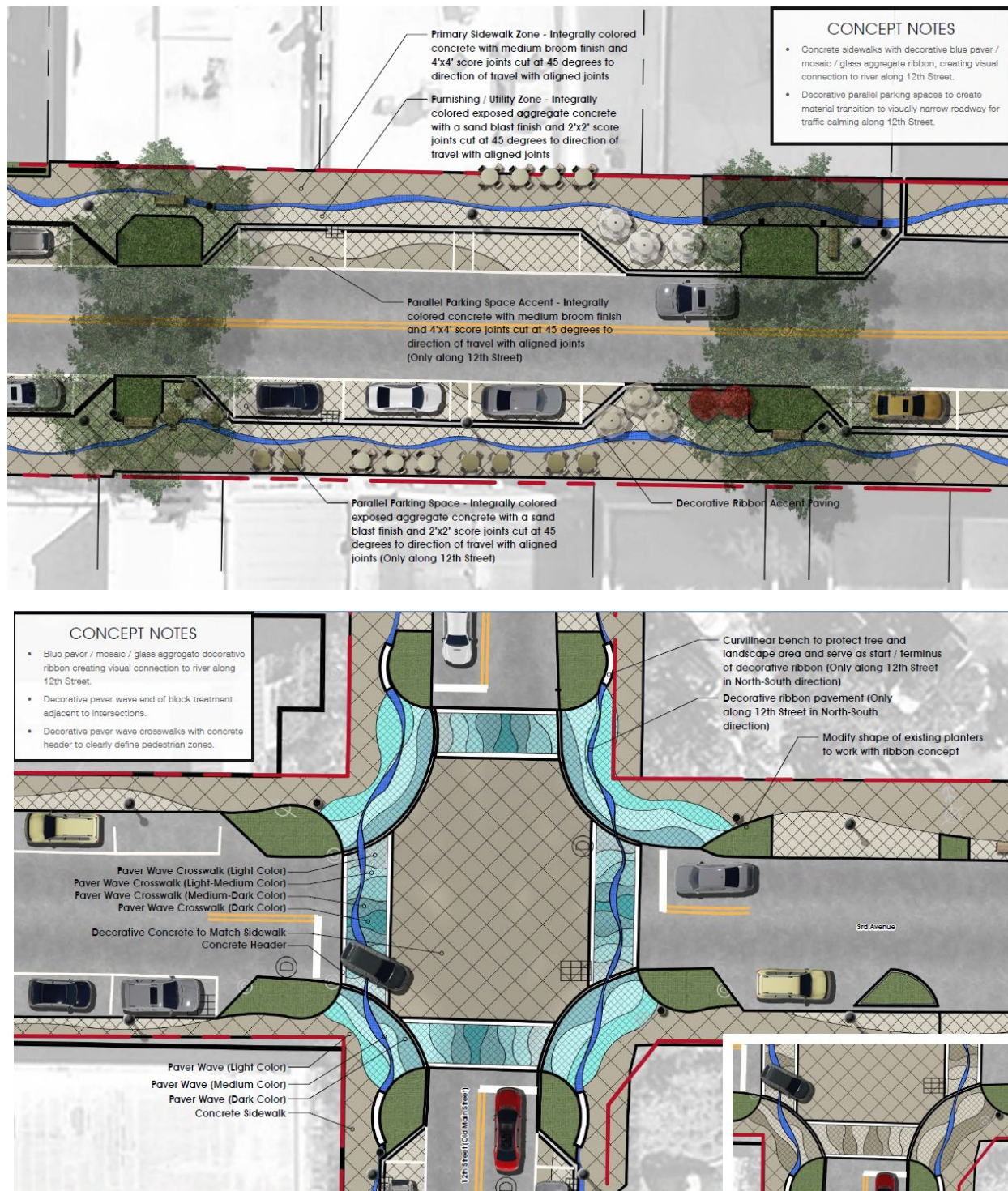


FIGURE 21: STREETSCAPE EXAMPLE



MECHANICAL EQUIPMENT, LOADING, AND SERVICE AREAS

- A. Service and loading areas or docks, outdoor storage, waste disposal, mechanical equipment, satellite dishes, truck parking, and other service support equipment shall be located behind the building and shall be fully screened from the view of adjacent properties both at ground and, roof top levels. Screen walls, if used, shall be compatible with the exterior walls of the primary structure (Refer to Chapter 4, Part 4, for landscaping, buffering, and screening standards).
- B. Areas for outdoor storage, trash collection, and loading shall be incorporated into the primary building design. Construction for these areas shall be of materials of comparable quality and appearance as that of the primary building. Where such facilities are located adjacent to residential lots, they shall include a visual and solid acoustic buffer or wall. (Refer to Section 7.02.02.09 of the City of Zephyrhills LDC for Screening Walls and Landscaping Standards).
- C. Specific to Outdoor Storage:
 - 1. All outdoor storage (if permitted) shall be located behind the principal building and shall be effectively screened by a solid wall or fence at least six (6) feet in height, but in no case lower in height than the material being stored.
 - 2. The wall or fence must be kept in good repair and sanitary conditions must be maintained within the storage area. The products or items stored must be compatible with allowable principal use.
 - 3. There shall be not more than one opening in the fence or wall facing any street for each 300 feet of length. The opening shall not exceed 20 feet in width and shall be provided with a solid gate or door which must be kept closed except for passage of vehicles.
- D. Fenced areas such as garden centers visible from the public right-of-way shall be screened with a decorative fence or wall, chain-link is not allowed. The area shall be landscaped and designed to be compatible with the design of the building façade.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Vision: A "Crime Prevention Through Environmental Design" Program can help make the neighborhood safer. Physical changes to street, alley and residential settings can improve public safety. Appropriate safety and security features shall be incorporated into building and site design consistent with the concepts and principles of Crime Prevention Through Environmental Design (CPTED). These features include the following:

- A. Ensuring maximum visibility through the proper placement of physical features, such as walls, fences and appurtenances to buildings.
- B. Utilizing adequate lighting in parking areas, open spaces, and to enhance security and visibility.
- C. Placement and maintenance of landscaping that does not reduce visibility.

CIVIC BUILDINGS

Many communities are recognizable by their public squares, plazas and civic structures. Civic structures often become landmarks and public gathering places that participate in establishing an identity for the community through distinguishing architectural design. These types of structures are intended to break the continuity of the streetscape. However, the design, materials and colors shall be tasteful and not garish. An example of a landmark building in the Zephyrhills CRA is the Zephyrhills Public Library on 8th Street. The distinctive limestone and brick detailing on the building helps bring identity to the Zephyrhills CRA.

Civic buildings contain uses of special public importance, such as municipal services, churches, libraries, schools, recreation facilities, and places of assembly.

- A. Civic uses shall be placed in central locations as highly visible focal points. Where feasible, they shall be close to transit stops for ease of use by pedestrians.

SWIMMING POOLS

- A. Swimming pools shall be located in rear or side yards and screened from public view by fencing and landscaping.

GARBAGE & RECYCLING RECEPTACLES

- A. Except as permitted by the City for periodic collection on the streets, garbage and recycling receptacles including trash containers and large dumpsters shall be situated at the rear of a building and screened from the public view by shrubbery or fencing.
- B. When the loading and or refuse collection area is adjacent to a residential district, deliveries and collections shall not occur between 10 p.m. and 6 a.m.

UTILITIES

Utilities for all new commercial developments shall be located underground where possible. Utility boxes shall be completely screened from view of principal streets as well as pedestrian walkways and areas.

DEMOLITION / MOVING OF HISTORIC BUILDING STRUCTURES

The Zephyrhills CRA discourages the demolition of historic buildings, the approval for demolition must meet substantial criteria. The Historic Preservation Review Board shall review any application for demolition or moving of structures into or out of any historic districts, in accordance with Section 146 of the City of Zephyrhills LDC. The City may also request review and recommendation by the Florida Department of Historical Resources.

- A. In reviewing any such application, the primary consideration shall be the extent to which the continued existence of the building or structure would tend to protect irreplaceable historic places and preserve the general historic atmosphere of the district.

Refer to Section 146 of the City of Zephyrhills LDC.

CHAPTER 3: COMMERCIAL STANDARDS

SITE DESIGN STANDARDS

Vision: Block layout and site design can have a major impact on the appearance of the built environment.

The way blocks are laid out affects:

- *the traffic and pedestrian flow through the district*
- *the way lots are configured (lot width and depth) can impact the appearance of the urban form*
- *the placement of buildings, parking areas and utility/service areas on a lot shape the character of an urban area*

This section provides standards for block and lot configuration and site design, specifically related to commercial properties. Commercial standards apply to all non-residential and multifamily residential properties within the CRA.

CIVIC FEATURE / TRIBUTE TO WATER

The City of Zephyrhills is known as the “City of Pure Water”. Centered around this theme, the installation of civic features celebrating water shall be required, as follows.

CIVIC FEATURE

All projects shall provide a civic feature (“tribute to water”) through installation of a water feature, public art depicting or incorporating a water feature, or similar. Such area shall be equal to 2 (two) percent of the total area (gross acreage of the parcel) of the project site not to exceed 500 square feet for sites less than 1.0 acre; 1,000 square feet for sites greater than 1.0 acres (gross acreage of the parcel) but less than 5.0 acres; 2,000 square feet for sites greater than 5.0 acres. For redevelopment projects, the required civic feature shall be provided based on the amount (percent) of new development.

Civic Features Design shall be reviewed and approved by the CRA Director or their designee.

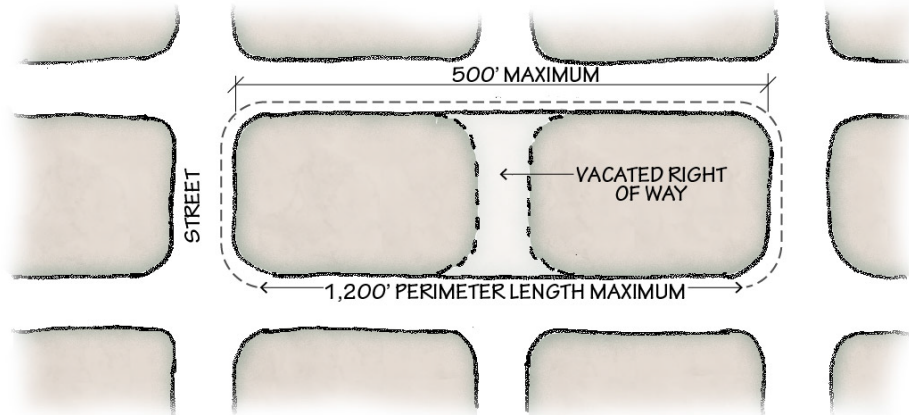
IN-LIEU-OF

Projects may alternatively contribute a Public Art “in-lieu-of” fee based on 0.5 (one-half) percent of the total project construction cost up to a maximum of \$25,000.

CONFIGURATION OF BLOCKS AND LOTS

- Existing rights-of-way, including alleys shall not be allowed to be vacated, to form blocks greater than five-hundred (500) feet in width, or one-thousand two-hundred (1,200) feet in perimeter length (See Figure 23: Configuration of Blocks and Lots). Blocks within the FBC shall adhere to those standards.
- Where new alleys are proposed and or required, they shall be consistent with and continue the existing alley network. The owner shall also provide sufficient right-of-way for such alleys prior to the issuance of a building permit for any principal structure.
- New development blocks shall be designed and constructed in a way that the established urban pattern, consisting of a grid network of streets and alleys, is preserved.

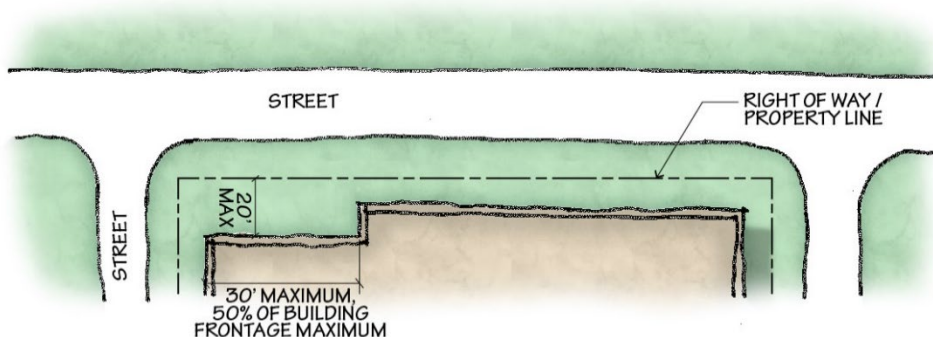
FIGURE 22: CONFIGURATION OF LOTS AND BLOCKS



SITE DESIGN – BUILDING PLACEMENT

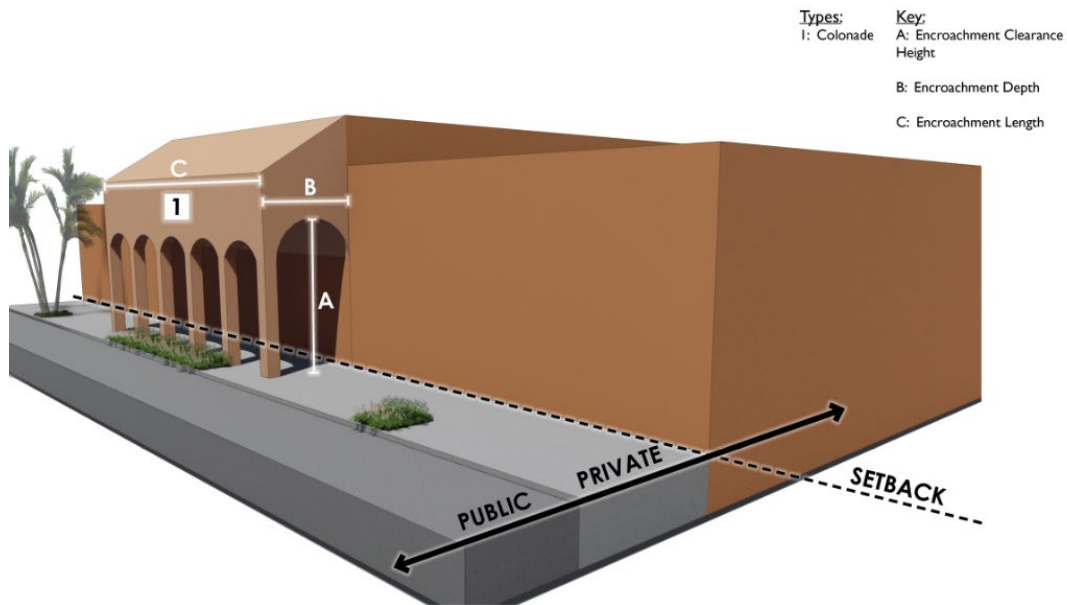
- A. New development/ redevelopment within the FBC shall use the setbacks as noted per transect zone type, within the City of Zephyrhills Form-Based Code.
- B. The maximum front yard or corner setback shall be permitted to extend a maximum length of 20 feet or 50% of the building frontage, but shall not exceed 30 linear feet of frontage, and only if pedestrian courtyards, plazas, cafes, fountains, or other public gathering places are provided (See Figure 24: Corner Setback).

FIGURE 23: CORNER SETBACK



- C. Building placement is expressed as frontage is represented by the width of a building in relationship to the width of the lot abutting a street. The following terms are used in "Frontage" and identify specific standards adopted in the respective Mixed Use Development Table. These terms are further illustrated as noted in each Mixed Use Development Table for each Mixed Use Area.
- D. Encroachments refer to building elements that are attached to a building volume and are permitted to exist within a yard, front setback or side street setback (See Figure 25: Encroachment). These may include architectural elements that are intended to bring the public realm closer to the building, such as awnings, canopies, and projecting signs. Encroachments are intended to be defined as those elements that protrude into the public right-of-way, as internal or external. Encroachments shall be defined as having a (A) minimum required clearance height, (B) maximum encroachment depth (C), and maximum allowed length.

FIGURE 24: ENCROACHMENT



- E. Active Use Areas refer to those areas along a frontage that may provide for forecourt, gallery/colonnade, arcade, courtyards, outdoor dining, merchandise display, and shared gardens (See Figure 26: Active Use Area: Vision Plan). Active Use Areas are defined as those elements which protrude into the private realm and shall be defined as having an allowed length (A) and allowed depth (B).

FIGURE 25: ACTIVE USE AREA: VISION PLAN



- F. A Forecourt is a frontage wherein a portion of the facade is close to the frontage line and the central portion is set back (See Figure 27: Forecourt). Forecourts may be used in commercial and mixed-use buildings to provide areas for outdoor dining, display of merchandise, entries to individual tenants, or vehicular drop-off areas.

FIGURE 26: FORECOURT



- G. A Gallery/Colonnade is a frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk.
- H. An Arcade is a colonnade supporting habitable space that overlaps the sidewalk, while the facade at sidewalk level remains at or behind the frontage line.
- I. Side yard setbacks for development within the FBC shall be determined based on existing development on the adjacent lots as follows:
1. If a principal building on an adjacent parcel has a side yard setback of zero (0) feet, then the subject building shall have the option of a side yard setback of zero (0) feet or ten (10) feet on that side.
 2. If a principal building on an adjacent parcel has a side yard setback of greater than zero (0) feet, then the development on the subject site shall have a side yard setback on that side that provides a ten (10) foot separation between buildings. The City's definition and method of measuring setbacks shall be utilized.
 3. If the adjacent parcel is vacant, then the side yard setback shall be five (5) feet.
 - a. The side yard requirements noted above can be modified if a public pedestrian alleyway or courtyard is provided, and a streetwall is provided to preserve the block continuity. In no event shall the side setback (both sides combined) exceed fifty percent (50%) of the lot frontage.

PEDESTRIAN ACCESS

Vision: Pedestrian access is key to any downtown setting along the street fronts as well as connections to parking facilities and alleyways.

- A. All new development and redevelopment outside of the FBC shall provide sidewalks as described below and per Figure 28 and Figure 29. Areas within the FBC shall adhere to the standards of the FBC (Part 2.05.00 – Land Development Code).

1. **Primary Sidewalk Streets** shall have a minimum 12-foot-wide sidewalk located directly adjacent to the roadway with no landscape verge.
2. **Secondary Sidewalk Streets** shall have a minimum 8-foot-wide sidewalk located directly adjacent to the roadway with no landscape verge.
3. **All other streets** shall have a minimum 6-foot-wide sidewalk separated from the roadway with a minimum 4-foot-wide landscape verge.

Note: *If right-of-way is not available, design alternates shall be considered by the CRA Director and the City's Public Works Director.*

4. An accessible pedestrian path shall be provided from the principal building entrance to the sidewalk on the closest public right-of-way.
5. An accessible pedestrian path shall be provided from the principal building entrance to the parking facilities serving the project.
6. Crosswalks shall be required wherever a pedestrian walkway intersects a vehicular area within a development or along its frontage in accordance with the following standards; see also Figure 20: Example Crosswalk Designs.
 - a. Crosswalks shall be differentiated from driving surfaces through a change in materials.
 - b. Crosswalks shall be a minimum of six (6) feet wide for local and collector roads and a minimum of ten (10) feet wide for arterial roads.
 - c. Crosswalks shall be marked in accordance with the "Manual on Uniform Traffic Control Devices" provided by the Federal Highway Administration (FHA).

FIGURE 27: EXAMPLE CROSSWALK DESIGNS



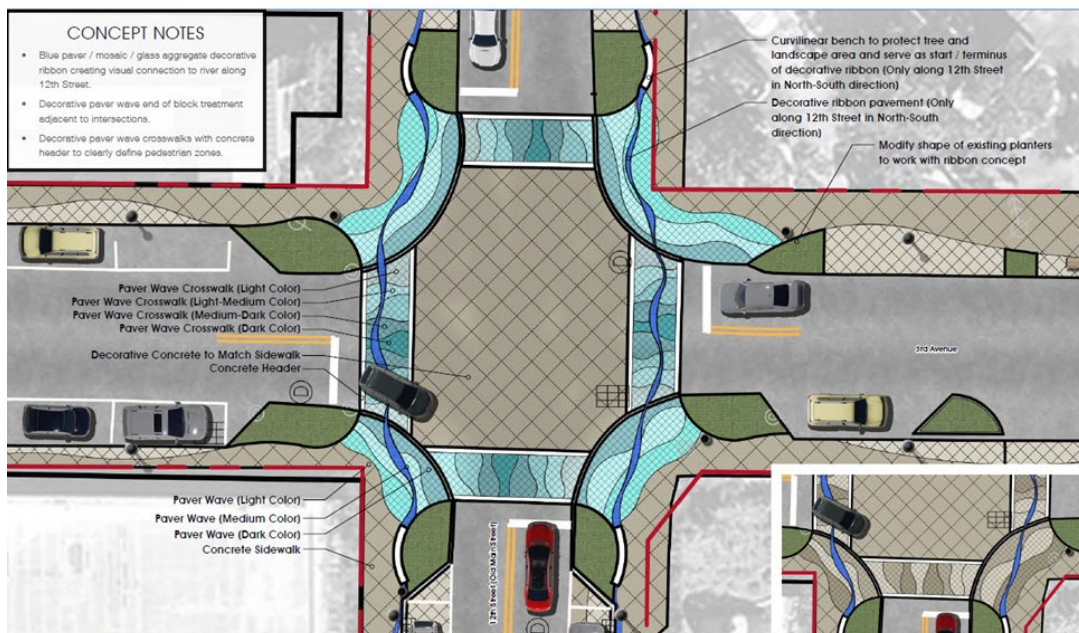
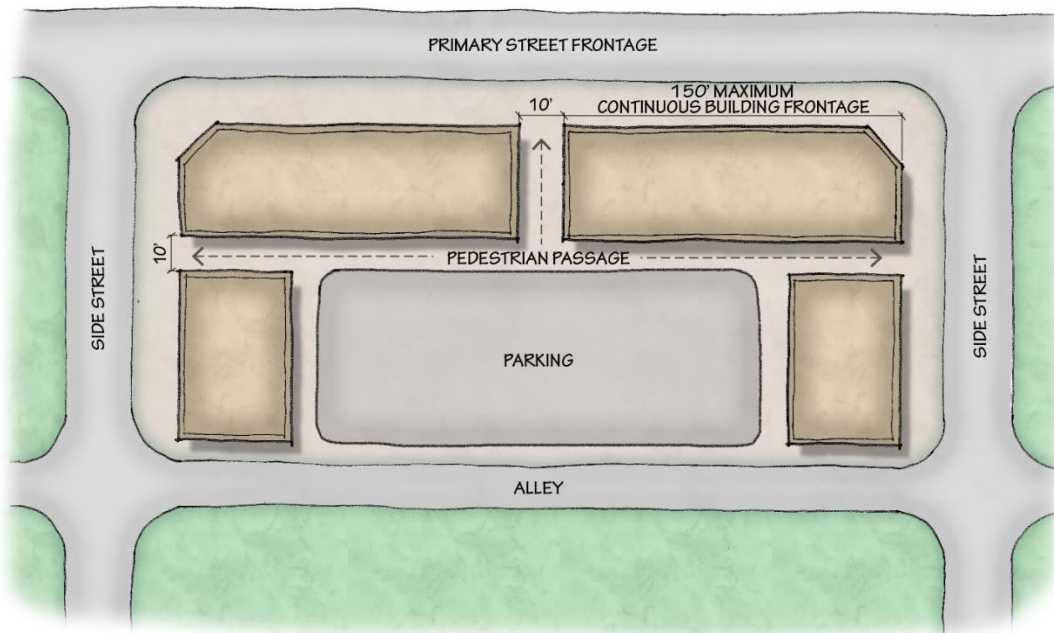


FIGURE 28: SIDEWALK MAP



7. Where rear parking is provided within properties fronting 5th Avenue and Gall Boulevard, Buildings greater than 150 feet in width shall provide a lighted pedestrian passageway between the building frontage and rear parking facilities (See Figure 30: Pedestrian Passageways).
 - a. One such passageway shall be provided for every 150 feet in building width.
 - b. Passageways shall be a minimum of 10 feet in width and shall be in the form of a well-landscaped courtyard, lighted or integrated into the building as an atrium.

FIGURE 29: PEDESTRIAN PASSAGEWAYS



BICYCLES

BICYCLE PARKING

- A. All new development or redevelopment of greater than ten (10%) percent of the site or 1,000 square feet, whichever is greater, shall provide bicycle parking.
 1. Bicycle parking shall be located no greater than fifty (50) feet from the primary pedestrian entrance.
 2. A minimum of two (2) bicycle parking spaces shall be provided based on the standards provided in the Form Based Code, Table 3C.
 3. Bicycle racks shall be permanently fixed to the surface through mechanical fasteners or using concrete footings.
 4. The bicycle racks shall be consistent in material and style with the overall project design theme (See Figure 31: Example Bike Rack Design).
 5. Bike racks shall be located in well-lit areas (i.e., direct on-building lighting, parking lot lighting, street lighting).

FIGURE 30: EXAMPLE BIKE RACK DESIGN



PARKING

A. General:

1. Parking lots outside of the Form-Based Code area shall generally be located in the side and or rear yards. Parking in the required front yard setback is permitted; however, multiple rows of parking in the front yard are prohibited. No more than one, double loaded parking aisle may be located in the front yard.
2. Dirt parking lots are prohibited in the district.
3. Arrangement of spaces. Parking areas shall be so arranged that any automobile may be parked/unparked without moving another, except for parking structures which may be designed to allow tandem parking and or valet services.
4. No parking space may be designed in such a way as to encroach, hinder or otherwise block a public or private roadway.
5. For projects fronting 5th Avenue and Gall Boulevard which are constrained such that they are not able to provide rear parking facilities, the required parking may be provided off-site, subject to approval of the CRA Board upon acceptance of a shared parking or similar agreement recorded with City Clerk.
6. Any off-site parking area shall be under the same ownership as the principal use or otherwise secured by a lease of no less than the term of any lease for the principal use or three years if the principal use is not leased. All necessary legal instruments shall be executed and recorded in the office of the register of deeds and copies of the recorded documents provided to the CRA Director and Public Works Director, or their designee, prior to the issuance of certificates of occupancy. All renewal agreements pertaining to off-site parking area leases shall be provided to the City Manager, or his designee, prior to the expiration of the lease term.
7. Up to 20 percent of the available on-street parking within 1,000 feet walking distance of the project may be counted toward a project's minimum off-street parking requirements (See Figure 32: On-Street Parking Vision).
8. The required parking spaces for multiple separate uses may be combined in one shared lot. The total cumulative number of required parking spaces for the multiple separate uses must be provided. A reduction in the number of required spaces may be allowed subject to approval by the CRA Board of an alternate parking plan. Off-site parking spaces shall be marked as parking for the principal use with signage or pavement markings (See Figure 32: On-Street Parking Vision).

FIGURE 31: ON-STREET PARKING VISION



9. In order to facilitate shared and community parking, the maximum number of parking spaces that may be provided for any use shall be per Article VII, Sec 7.11.02.03. Development and redevelopment proposing to exceed the maximum number of parking spaces shall provide justification as to the increase, including supporting data and analysis. The CRA shall review all such requests and may require the submission of a parking study or similar as part of the review. The CRA Board may approve an increase as part of an application for development and redevelopment.
10. Parking spaces may be located within required building setbacks.
11. The parking area shall be properly lighted for security, see Street Lighting requirements on page 11.
12. Required handicapped spaces shall not be located in off-site parking areas.
13. Aisles, driveways and joint access easements shall not be used for parking vehicles.
14. Parking facilities including spaces and drive aisles may be used for special events and temporary uses providing emergency service access is not restricted. Such use shall be approved by the CRA Director and Public Works Director, and the time (duration) of such use shall be stated in the request.
15. Where parking spaces are located such that the parked vehicle will overhang a sidewalk, a minimum clear width shall be provided equal to the minimum sidewalk width required within these standards.

16. In limited instances, the CRA Director upon recommendation by the Public Works Director may approve the construction and temporary use of parking areas consisting of less than five (5) parking spaces. Temporary parking area use shall not exceed six (6) months total except where approved by the CRA Board. Unimproved surfaces, such as dirt or grass may be used for temporary parking areas only if each space is provided with a concrete wheel stops or similar.
17. The use of railroad ties, or other non-traditional wheel stops shall not be permitted.
18. Parking lots shall be visually and functionally segmented using landscaped islands and canopy trees as described in the landscape standards on page 58.

PARKING GARAGES

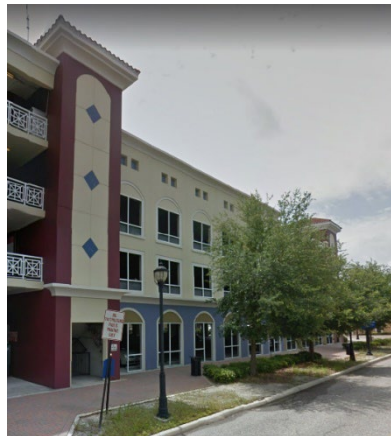
Vision: Parking garages (aka structured parking) are an integral part of an urban area. Because of their function, structured parking facilities are typically designed as large uninteresting boxes, with very little attention to the pedestrian scale. The design of a public garage can have a major impact on the appearance of an area. The following standards shall assist with the creation of attractive and compatible garage structures in the City of Zephyrhills CRA district.

- A. The design and outward appearance of parking facilities and structures (garages) shall incorporate design elements of the City of Zephyrhills CRA and be subject to review from the CRA Director with assistance from the Planning Division Director. Parking Garages shall be considered a building and be held to the same requirements noted for buildings. Such uses must be screened landscape features, hardscape features including but not limited to pedestrian facilities, benches, signage, kiosks, or similar. Parking structures /facades shall be screened by either liner buildings (See Figure 33: Example Liner Building) not to exceed two stories in height or through the use of building design/architectural features; such features shall not exceed 50 percent of the façade to allow for increased light and ventilation.

Where parking lots are a permitted use, parking garages shall be allowed in accordance with the following standards:

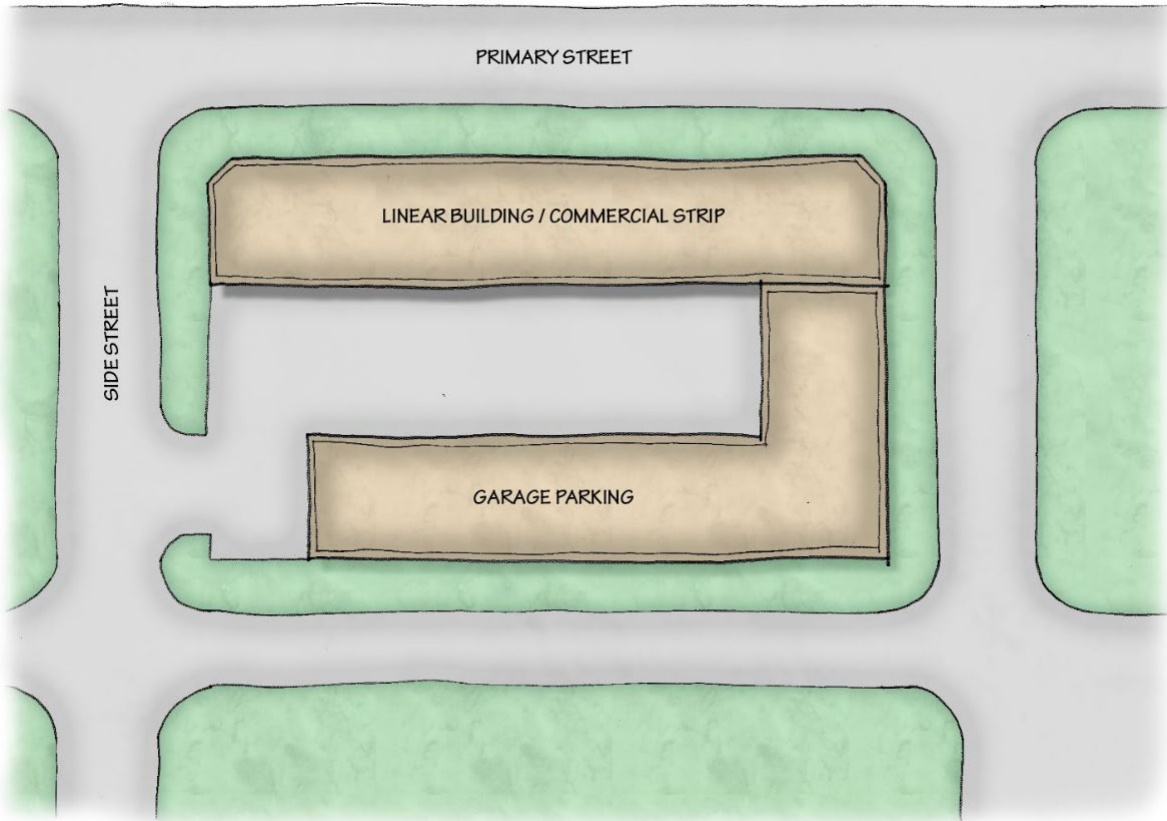
1. Parking structures shall not occupy frontage along 5th Avenue and Gall Boulevard but shall be located behind the principal use within a lot or separated from the frontage using a liner building with uses such as offices, retail, personal services, and entertainment occupies the ground floor.

FIGURE 32: EXAMPLE LINER BUILDING



2. The entrances to structured parking garages shall be from side streets and or alleys (See Figure 34: Garage Access).

FIGURE 33: GARAGE ACCESS



3. Those areas not including ground floor active uses shall provide a pedestrian-oriented landscaped setback of ten (10) feet maximum.
4. The exterior facades of all parking garages shall be designed to achieve an architectural unity with the block. Parking Structures shall adhere to the following:
 - a. Parking structures adjacent to storefronts shall achieve the look of a storefront through the use of architectural detailing, faux storefront, or liner uses and shall visually screen parked vehicles.
 - b. Minimize blank concrete facades (this may be achieved through art and or horizontal and vertical architectural elements).
 - c. Use of textured concrete, planter, and trellises.

SIGN STANDARDS

GENERAL STANDARDS

Vision: Implement a creative and innovative approach to signage and business identification by encouraging creative and innovative approaches to signage and business identification.

Encourage excellence in signage, both as a communication tool and as an art form, enhance the economic value of the built environment by diminishing visual clutter which is harmful to property values and business opportunities. Ensure signs reinforce the existing and envisioned character and compliment the architectural design of the district. Encourage creative and unique sign designs while preventing cluttered and unattractive streetscapes (See Figure 35: Signage Examples).

FIGURE 34: SIGNAGE EXAMPLES



- A. Total Number of Signs Permitted:
 1. Non-residential Signage: Except for the Plaza District, signage for non-residential uses (commercial, office, etc) shall be limited to three (3) total Sign Types. The non-residential uses within the Plaza District shall be limited to four (4) sign types.
 2. Residential Signage: Residential signage shall be limited to a maximum of two (2) total Sign Types.
- B. Except for logos, trademarks, or similar; signage may only include two (2) colors.
- C. Signage lighting except where permitted otherwise in this Section, shall be provided by indirect lighting, meaning a source of illumination located a distance away from the sign, which lights the sign, but which is itself not visible to persons viewing the sign from any normal position of view, shall be allowable.
- D. Neon light (electrical discharge tubing), is not permitted.
- E. Only indirect lighting of signage shall be allowed in areas with residential adjacency.
- F. The light from any illumination source intended to illuminate a sign shall be shaded, shielded or directed so that the light intensity or brightness shall not adversely affect surroundings or facing premises, nor adversely affect safe vision of pedestrians or operators of vehicles moving on public or private streets, driveways or parking areas.
- G. A flashing or animated sign or sign with intermittent or varying intensity of illumination or color is prohibited, whether deliberate or as a result of a defect in the sign or the illumination source.
- H. A common signage plan must be included as part of the Site and Development Plans and or Concept Plans.
 1. This common signage plan shall specify the size, type, height, setback, location, design, illumination and number of signs proposed.

2. All signs included in the common signage plan are required to utilize coordinated colors, styles and lettering schemes throughout the development.
- I. Signs that become visibly faded, frayed, torn or worn shall be replaced.
- J. String lights and similar decorative lighting that is used as an accent around windows, doors, etc. is not permitted.

SIGN TYPES

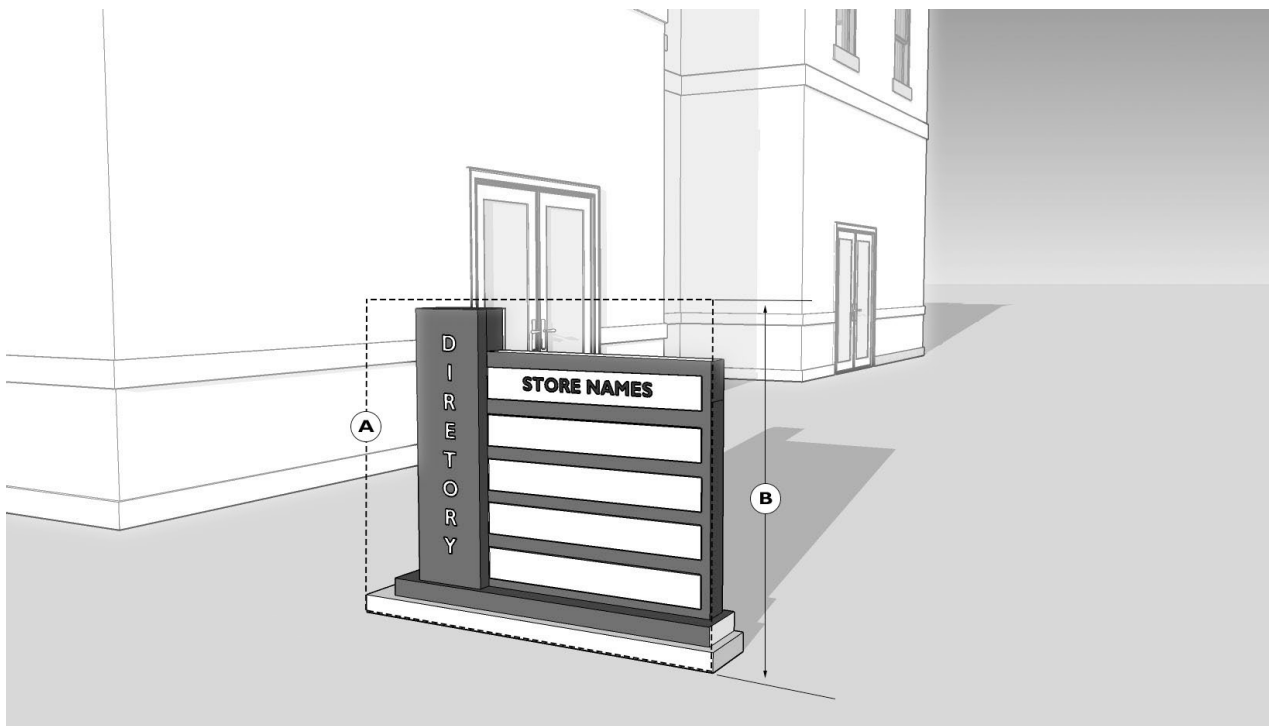
A. General

1. Projecting signs, window and awning signage will be deducted from wall signage size allotment.
2. Sign height(s) described below include design, architectural and ornamental features.
3. Prohibited Signs are identified in Section (8) below.

B. Directory Signs

1. Projects shall not have more than one (1) Directory Sign.
2. Residential Uses: Signs shall be affixed directly to the principle structure; no free-standing directory signs shall be permitted.

FIGURE 35: MONUMENT SIGNAGE

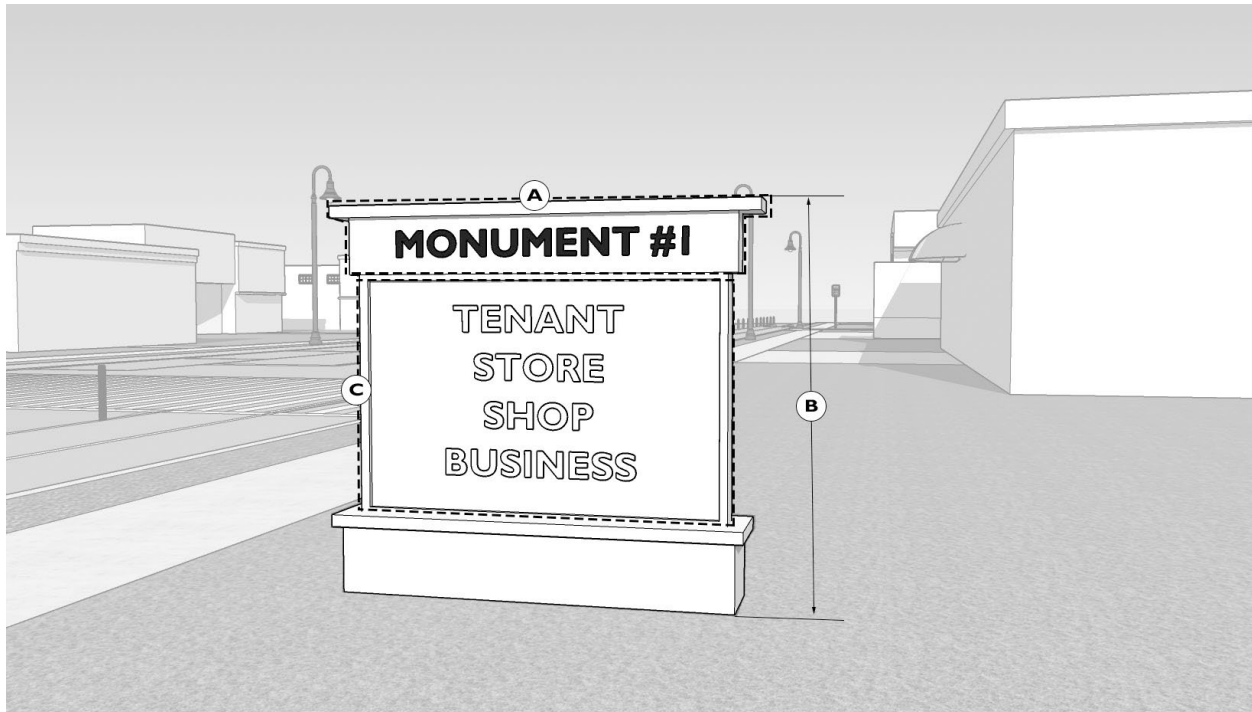


Directory Sign	Size	Location
Description	A: 10 square feet (sign face)	Generally located at the intersection and or along arterial and collector roadways;
	B: 6 feet	
	C: N/A	Miscellaneous
	D: N/A	Developments less than ten (10) acres in size may have up to two (2) Directory Signs; developments greater than ten (10) acres in size may have one additional Directory Sign for each ten (10) acres
	E: N/A	

C. Monument Signs

1. Projects shall not have more than one (1) Monument Sign which shall be located along the property's primary entrance and not exceeding the following height and size (area) standards:
 - a. Up lights or similar indirect lighting shall be provided; no internally illuminated signs shall be permitted. Lighting shall be installed at the base of the sign and screened by landscape materials, shielding or similar.
 - b. *Exceptions:*
 - i. *Within the Plaza District, Monument Signs shall not exceed: 8 feet total maximum height, including design and ornamental features, 10 feet in width or more than 100 square feet of sign face area (See Figure 37: Monument Signage within the Plaza District).*

FIGURE 36: MONUMENT SIGNAGE WITHIN THE PLAZA DISTRICT



Monument Sign - Neighborhood	Size	Location
Description	A: 10 feet	Located at the property's primary entrance
	B: 6 feet	
	C: 50 square feet (sign face)	Miscellaneous
	D: N/A	Projects shall not have more than one (1) Monument Sign – Plaza District Properties adjacent to a residentially zoned property or residential use shall not exceed 4' total maximum height, including design and ornamental features, 10 feet in width or more than 60 square feet of sign face area
	E: N/A	

2. *Secondary Monument Sign:* Specific to the Plaza District, properties fronting on more than one (1) public right-of-way, may provide a Secondary Monument sign *not exceed* 6 feet total maximum height, including design and ornamental features, 8 feet in width or more than 40 square feet of sign face area.

D. Signage Bonus

1. Monument signs, primary and or secondary, including Wall signs which incorporate a water feature and the design is approved by the CRA Director and Public Works Director and or their designee,

the sign(s) shall be entitled to an increase in the sign face by 20%. The bonus may be applied to one approved project sign.

Water Features shall include designs that incorporate flowing water, fountains, high quality mosaics, or other art types, or similar. The standards in Section VII.1 above shall be applied.

E. Sandwich Board/Restaurant Menu Signs

A. Restaurant menu signs are allowed and shall not be included in the number or area of permitted signs per street frontage. A maximum of one (1) sign is permitted. Such signs shall not restrict or inhibit pedestrian access or movements. Signs must be removed when the business or use is closed.

FIGURE 37: SANDWICH BOARD



Menu Board Sign	Size	Location
Description	A: 4 feet (max)	located along the property's primary entrance
	B: 3 feet	
	C: 3 feet	Miscellaneous
	D: N/A	No more than 1 total is permitted for any building/tenant Must be removed before/after business hours May not obstruct sidewalk; shall maintain a minimum 5-foot pedestrian walkway
	E: N/A	

F. Wall Signs

1. Wall Signs (See Figure 39: Wall Signage) are not permitted facing a residentially zoned property or residential use.
2. Measurement of wall mounted signage shall be based on the project's primary frontage (i.e., front of building including the primary pedestrian / customer entrance).
3. Wall sign must be illuminated by external means only. Pin lettering (individual letters and graphics) is highly recommended.
4. For single tenant buildings, one (1) wall mounted sign shall be permitted per building.
 - a. Developments that include double frontage or corner lots, as defined by the Zoning Ordinance, may have one (1) wall mounted sign per road frontage with a maximum of 75 square feet per sign up to a maximum of two (2) wall mounted signs.
 - b. In no case shall the maximum amount of square footage for wall mounted signs be combined into one (1) sign.
5. For sites with multiple tenants in one (1) building, the maximum number of signs shall not exceed the number of tenants.

FIGURE 38: WALL SIGNAGE



Wall Sign	Size	Location
Description	A: 100 square feet	Not permitted abutting / facing a residentially zoned property or residential use
For single tenant buildings, one (1) wall mounted sign shall be permitted per building provided at one (1) square foot per lineal foot of primary project	B: 20 feet; 25 feet in the Plaza District	
Developments that include double frontage or corner lots, as defined by the UDO, may have one (1) wall mounted sign per road frontage with a maximum of 75 square feet per sign up to a maximum of two (2) wall mounted signs	C: 2 feet (ground floor); 3 feet (upper floors)	Miscellaneous
	D: N/A	Measurement of wall mounted signage shall be based on the project's primary frontage
	E: N/A	In no case shall the maximum amount of square footage for wall mounted signs be combined into one (1) sign For sites with multiple tenants in one (1) building, the maximum number of signs shall not exceed the number of tenants Individual tenant signage shall be based on and not exceed 90 percent of the individual tenant frontage up to a maximum of 75 square feet per tenant

G. Awning, Canopy and Hanging Signs

1. All awning, canopy and hanging signs (See Figure 40: Awning and Hanging Signage) shall maintain a minimum eight height (clear distance) above the sidewalk/ pedestrian area.
2. No more than two (2) total Awning and Hanging Signs shall be permitted for any building.
3. The sign must be positioned 90 degrees to façade and located in close proximity to the primary pedestrian entrance to the establishment.
4. See also Site Lighting regarding convenience store and similar awning and canopy signs.

H. Window Signs

1. Window Signs (See Figure 41: Window Signage) shall not to exceed twenty-five percent of the total window area of a building.
2. No more than two (2) window signs shall be permitted for any building.
3. Window Signage has to be placed at the top or bottom of the window and is not permitted to be placed in the middle of the window.

FIGURE 39: AWNING AND HANGING SIGNAGE



Awning, Canopy, Hanging Sign	Size	Location
Description	A: 25 square feet (max)	located along the property's primary entrance
	B: 8 feet (min)	
	C: 2 feet	Miscellaneous
	D: See miscellaneous	<p>Shall not exceed 25 percent of the area (face) of the awning/canopy</p> <p>No more than 2 total awning, canopy and or hanging signs are permitted for any building/tenant</p> <p>See also Section (5) c (Site Lighting) regarding convenience store and similar awning and canopy signs.</p>
	E: N/A	

FIGURE 40: WINDOW SIGNAGE



Window Sign	Size:	Location
Description:	A: 20 square feet (max)	located along the property's primary entrance
	B: 3 feet	
	C: N/A	Miscellaneous
	D: N/A	No more than 2 total are permitted for any building/tenant Window signs located along the same building frontage shall be limited to the maximum size provided in A total; Window signs located in the upper story(s) may increase A and B by 10 percent
	E: N/A	

J. Prohibited Signs

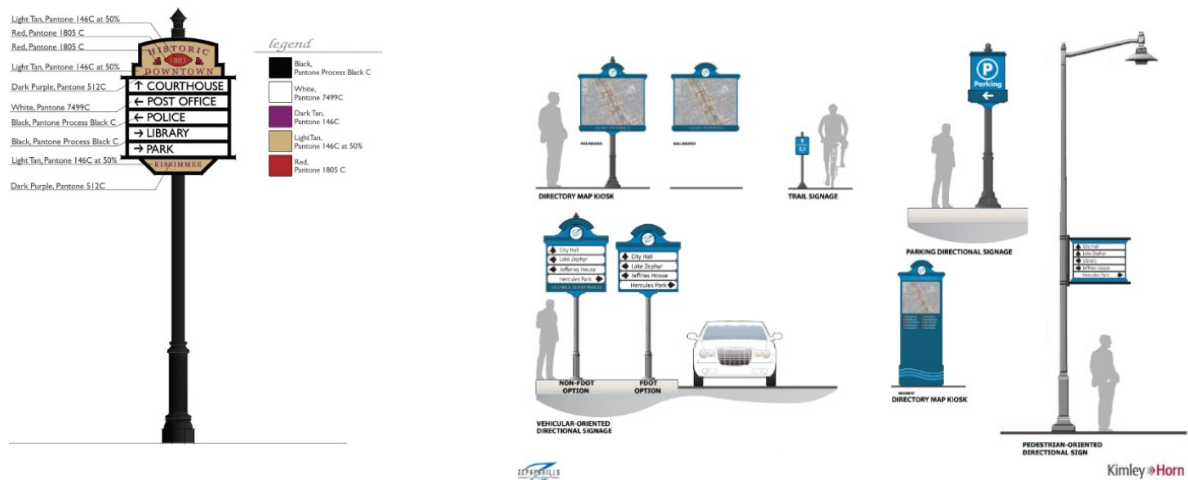
1. In addition to those signs prohibited by the City of Zephyrhills, the following signs shall be prohibited within the CRA and Plaza District:
 - a. Feather signs, banners, streamers, and similar.
 - b. No wall sign may be painted onto any building wall (such as murals, public art, etc.).
 - c. High intensity fluorescent, metal flake and iridescent colors are prohibited.
 - d. Blinking, oscillating, or rotating lights are prohibited.
 - e. Signs affixed to fences of any kind.
 - f. Pole Signs.
 - g. Signs utilizing changeable copy.
 - h. Flat metal, plastic, plywood and or vinyl signs.
 - i. Exposed Wire Frame or tubular steel frame signs.
 - j. Signs affixed to or bollards, fuel pumps or similar (See Figure 42: Prohibited Signage Examples).
 - k. Internally illuminated cabinet signs (i.e., box signs) are not permitted.
 - i. Letters, graphics, or artistic elements incorporated as part of the signage composition may be internally or back-lit.
 - l. Signs affixed to the roof or extending above the parapet by more than two (2) feet.

FIGURE 41: PROHIBITED SIGNAGE EXAMPLES



K. Wayfinding Signs including gateway signs installed by the City and or CRA shall be exempt from these standards (Figure 43: Typical Wayfinding and Gateway Signage).

FIGURE 42: TYPICAL WAYFINDING AND GATEWAY SIGNAGE



SITE LIGHTING

Vision: Accent lighting of signage, landscaping and trees, water amenities and other special features shall be encouraged; concealed source fixtures required.

Lighting fixture style shall be similar in style to that of selected street lighting.

A. Pedestrian

1. Pedestrian-scale lighting shall be required. The maximum height of Pedestrian-scale lighting shall be 18 feet. Lighting may be provided via overhead lighting, bollards, or built into the walkways.
2. The required minimum illumination for walkways and other pedestrian areas is 0.2 footcandles except as otherwise regulated by state and or federal requirements.

B. *Parking Lot*

1. Parking lot lighting shall not exceed 0.2 foot candles at the property line of the parking area, except as regulated by state and or federal requirements. The CRA Director, Public Works Director, or their designee, may require a photometric lighting plan.

C. *Lighting may be affixed to buildings*

1. Exterior lighting may be used only to illuminate a building and its grounds for safety purposes and should not extend or be directed off-site or away from the building.

D. *Canopy and Awning Lighting*

1. Internally lit canopies similar to those identified in Figure 44 are not permitted within the District.
2. Canopy lighting shall be recessed and shielded from view from public rights-of-way and adjacent properties. At a canopied area, such as that found at drive-through facilities, banks, service stations, convenience centers, and car-washes, as well as, lighting under a canopy, awning and porte-cochere shall be recessed.

FIGURE 43: PROHIBITED CANOPY LIGHTING



E. *Exterior Lighting*

1. Exterior lighting may be used only to illuminate a building and its grounds for safety purposes and should not extend beyond the property line. Lighting is not to be used as a form of advertising.

BUILDING FORM STANDARDS

Vision: The purpose of the following standards is to achieve high quality new development and redevelopment which are compatible with their surroundings and with the desired image for the Zephyrhills CRA. In particular, along 5th Avenue and Gall Boulevard, all new development and redevelopment shall follow “main-street” principles, so that the proportion, scale, mass, form and materials reinforce the original character of those commercial corridors.

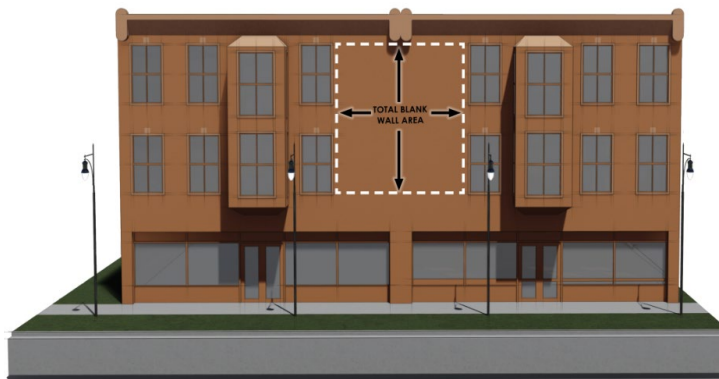
MASS / SCALE / HEIGHT

(Refer to Sec. 7.01.01 of the City of Zephyrhills LDC for General Development Guidelines).

- A. Multi-story buildings shall be encouraged throughout the CRA, subject to adjacency requirements and buffer requirements as established in the LDC, FBC, and herein.

- B. The vertical mass of multi-story buildings shall be visually broken at each story with architectural detail and articulation of no less than 1 foot in the vertical direction (See Figure 45: Building Articulation).
- C. Building rooflines which face a frontage shall not exceed a linear distance of 35 feet without being interrupted by a physical articulation of no less than 1 foot in the vertical direction.
- D. Building facades which face a frontage shall not exceed a linear distance of 10' in height; 20' width without being interrupted by a physical articulation of no less than 3 inches perpendicular to the building facade and 6" parallel to the building façade. Buildings on corner lots shall incorporate additional height, massing, distinctive architectural treatments, or other distinguishing features to emphasize their prominent location (See Figure 45: Building Articulation).

FIGURE 44: BUILDING ARTICULATION

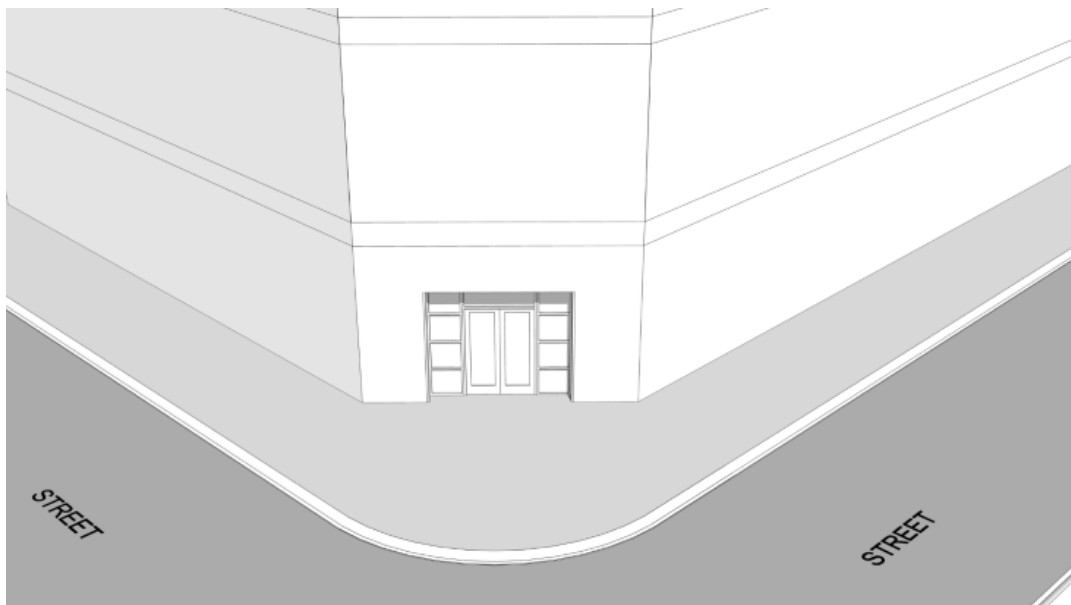
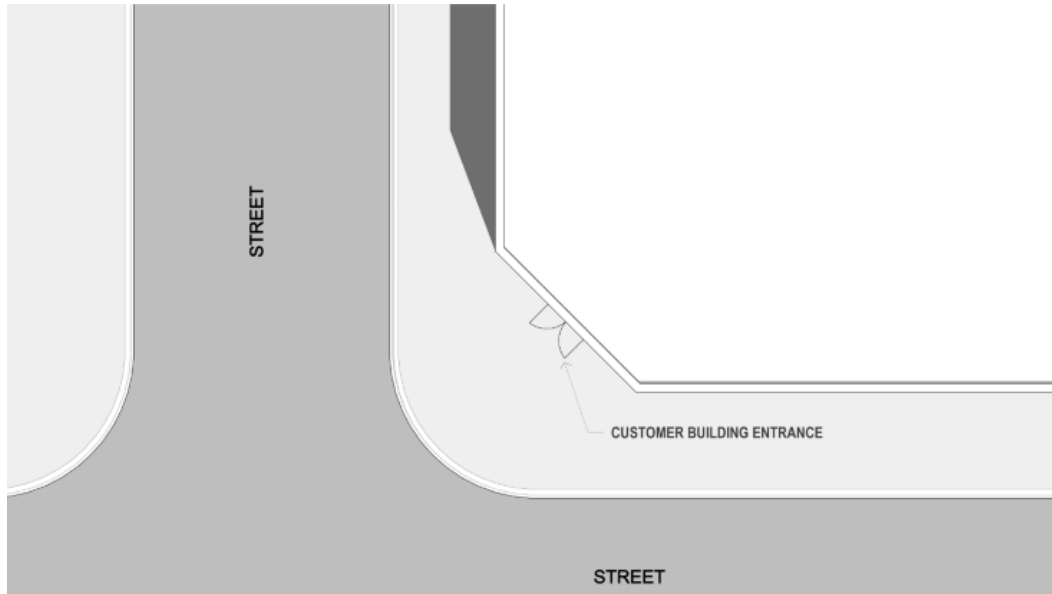


BUILDING ORIENTATION

(Refer to Sec. 7.01.01 of the City of Zephyrhills LDC for General Development Guidelines).

- A. Buildings shall have their front facades face the public right-of-way.
 - 1. *Exception may be given for building orientation, if a larger development provided liner buildings along the first floor facing the public right-of-way. The liner building would either have actual smaller shops located facing the street or the appearance of smaller shops with window-shopping opportunities.*
- B. At least one (1) public pedestrian entrance on all principal structures shall be oriented towards the public right-of-way (Refer to Sec. 3.100).
 - 1. Vehicular openings such as those for garages and carports shall not constitute public entrances.
 - 2. The primary pedestrian entrance to all buildings shall face the primary street, be clearly defined, and be highly visible.
 - 3. Where two major streets intersect (e.g. Gall Boulevard with 5th Avenue, South Avenue, and North Avenue), customer entrances shall be provided for both streets; a corner entrance (See Figure 46: Pedestrian Entrance at Intersection Corner) shall be permitted as a design alternate exception. Additional entrances are encouraged facing local streets, parking lots, plazas, waterfronts, and adjacent buildings.

FIGURE 45: PEDESTRIAN ENGRANCE AT INTERSECTION CORNER



ARCHITECTURAL STANDARDS

Vision: Buildings are an integral component of the urban streetscape form. They set the mass, scale and rhythm within the built environment. As such, all of the various elements of a building's architectural makeup are important in putting together a complete composition. Elements such as materials, colors, surface details, texture, doors, windows, and roof shape contribute to a well-designed architectural fabric. The following section provides standards to ensure that new and redeveloped structures continue to add distinction to the architecture and form of the Zephyrhills CRA corridor and surrounding areas.



HISTORIC ARCHITECTURAL STYLES

- A. For all new building or redevelopment of buildings within or adjacent to historic properties, all improvements shall be as allowed by LDC Section 7.10.01 (A), and Ordinance No. 774-01. Architectural styles for such projects shall be compatible with the predominant architectural styles of existing buildings in the mature segments of the corridor, such as along 5th Avenue between 7th Street and 9th Street. All elements that comprise a building, including the building form shall compliment the architectural style selected.
 - 1. For new construction, all windows shall be consistent with the style of the structure.
 - 2. Building designs shall specify the potential location and types of signs that would best fit the style of the building.
- B. Marquees shall be restored and retained where they are a historic element of the building.
 - 1. The design, materials, color, lettering and hardware of a marquee shall reflect the style and period of the building.
 - 2. The configuration, size and location of the marquee sign shall be maintained in its original condition unless it is a safety hazard, in which case the hazard shall be remedied with the least impact to the sign practical.
- C. Doors and door details, windows, frames, lintels, fan lights, sidelights, pediments, and transoms, in good condition or repairable that are in character with the style and period of the building shall be retained.
 - 1. If doors, windows, or door/window details on principal facades are found to be irreparable, they shall be replaced with new elements that match the original in material, size, orientation, and configuration.
- D. Additions to existing buildings shall complement the original windows and doors in size, material, orientation and configuration, and other features as in the principal structure.
 - 1. If the addition is on the same plane as the existing principal façade, then the windows of the addition shall match the original windows in orientation, size, materials, and configuration.

FAÇADE DESIGN

Vision: Buildings shall have architectural features and patterns that provide visual interest from the perspective of the pedestrian and motorists. (Refer to Sec. 7.10.02 of the City of Zephyrhills LDC for Façade Design Guidelines).

- A. Architectural treatments on the principal building façade, such as cornices and repeating details, shall be continued around all sides of the building that are visible from the public realm. Buildings shall promote a unified character and organized design.
- B. Long, windowless, uninterrupted walls shall not be permitted. Building wall projections and recesses shall also be used to add architectural interest and variety. Facades shall not exceed twenty (20) horizontal feet, or ten (10) vertical feet, without three (3) of the following elements (See Figure 47: Façade Design Examples):
 - 1. A change in plane, such as an offset, reveal or projecting rib. Such plane projections or recesses shall have a width of no less than six (6) inches (columns, planters, arches, voids, etc.).
 - 2. Architectural details such as raised bands and cornices.
 - 3. Awnings and or arcade.
 - 4. Complementary change in color.
 - 5. Complementary change in material/texture.
 - 6. Doors and or windows.
 - 7. Storefront window and display cases.

FIGURE 46: FAÇADE DESIGN EXAMPLES





- C. Facades that extend more than one hundred (100) feet in length shall incorporate, in addition to three (3) of the above requirements, at least one (1) of the following elements:
 - 1. A change in plane, such as an offset, reveal or projecting rib. Such plane projections or recesses shall have a width of no less than three (3) feet, and a depth of at least six (6) inches.
 - 2. Architecturally prominent public entrance.
 - 3. A tower or vertical volume.
 - 4. Any additions and alterations to the building exterior shall be the same as the principal structure in design, color, and materials.
 - 5. Primary Façade.

- D. Commercial buildings shall include individual shops, display windows, seating areas; developments other than retail shall also incorporate elements that contribute to the pedestrian activity along 5th Avenue and Gall Boulevard (urban landscaping, seating areas, and awnings).
 - 1. The first floor of the primary façade shall incorporate the following elements:
 - a. Arcades, or other roof treatment, such as awnings or secondary roofs, to provide shade and façade interest which help to achieve pedestrian scale.
 - b. Display windows, which also help to achieve pedestrian scale and encourage passersby to be possible shoppers.
 - c. Landscaping adjacent to the building.
 - 2. Corner Facades
 - a. Buildings on corner lots shall include at least one (1) of the following embellishments (Refer to Sec. 3.301(2)):
 - i. Cornice detail
 - ii. Arches
 - iii. Peaked roof forms
 - iv. Corner towers
 - v. Clocks

- vi. Bells
- vii. Other design features
- b. Hardscape design, such as pedestrian plazas with artwork or fountains, may substitute for building embellishments on corner lots or screen walls.

E. Secondary Facades

A rear/ secondary entrance can provide direct customer access to the store from parking areas as well as improve circulation between the parking lots and the street.

1. Architectural embellishments, awnings, landscaping, and signs shall be used to mark the secondary entrance and the design of the rear of the building shall be consistent with the front façade (scale, massing, colors, materials, etc.).
2. Secondary facades, which are not readily visible from the street right-of-way, shall provide at least two (2) of the design elements required for primary facades (Refer to section on primary facades above).

FEATURES

A. Gutters and Downspouts

1. To prevent water damage, gutters and downspouts shall be designed to channel the water at least 4 to 6 feet from the building using downspout extensions and splash blocks.
2. Metal gutters and downspouts (other than copper or prefinished metal) shall be maintained by painting all surfaces.

B. Awnings and Shutters

Vision: Protection from the sun and adverse weather conditions for patrons shall be considered for entranceways. Protection methods can include awnings, canopies, colonnades, porticoes, or similar treatments meeting the intent of this section.

1. Awnings shall have a minimum depth of five (5) feet to protect pedestrians from inclement weather, except where not possible due to trees, utility poles, and street lights. The minimum vertical clearance of awnings on non-residential buildings shall be eight (8) feet from the lowest point to the sidewalk.
2. Awnings shall be made of fabric or metal. High-gloss, vinyl or fabrics that resemble plastic are not permitted.
3. Shutters and awnings shall be sized to match the corresponding window openings. Their shapes, materials, proportions, design, color, lettering, and hardware also shall be in character with the style of the building.

C. Windows and Doors

1. The use of reflective film, foil or similar opaque material for windows and doors is prohibited.

ENTRANCES

Additional entrances are encouraged facing local streets, parking lots, plazas, waterfronts, and adjacent buildings.

- A. All primary entrances shall have either a protruding front gable, pilasters, columns, a stoop or other projection or recession (as in the case of existing facades already up to the front setback line) that clearly identifies the entrance.
- B. In addition, every primary entrance shall have two (2) other distinguishing features from the list below:
 1. Variation in building height
 2. Awning or portico
 3. Raised cornice or parapet over door

4. Arches
5. Columns
6. Ornamental and structural architectural details, other than cornices over or on the sides of doors
7. Other treatment, meeting the intent of this section as deemed appropriate by the CRA director

BUILDING MATERIALS

Vision: *Materials shall reinforce objective of creating a high quality, signature character for Zephyrhills. Materials shall be based on compatibility with the building style and neighborhood character. Natural limestones and woods are encouraged. Materials shall be selected based on compatibility with building style and neighborhood character. Materials shall convey an impression of permanence and durability. Masonry, stone, stucco, glass, and tile are encouraged. The use of exterior insulation foam system (EIFS) for facades is prohibited except where used as an accent feature.*

- A. Except where the building's original finish included such materials, the following materials are prohibited from being used on building exteriors within the City of Zephyrhills CRA: cedar shakes, corrugated or reflective metal panels, textured plywood, EIFS, mirrored glass, vinyl siding, glass curtain walls and plastic siding (See Figure 48: Prohibited Exterior Building Materials).

FIGURE 47: PROHIBITED EXTERIOR BUILDING MATERIALS



- B. Materials for new construction shall be compatible with existing materials in the area in terms of texture, size, shape, color and scale (Refer to Sec. 3.200 for Building Mass, Scale, and Height Standards).
 1. The scale of the building materials used shall respond to the scale of the proposed building.
 2. Alternative new materials shall be compatible with the physical qualities of the historic materials that give the district its unique character.
- C. The exterior facade material for an addition or renovation shall either be the same as the existing building, a combination, or a material that simulates the original material (Refer to Sec. 3.301 for Façade Design Standards). See also subsection (1) above.
 1. The City shall approve an alternative material for any building additions, which shall be compatible with the materials used for the existing structure.

BUILDING COLORS

- A. Material Colors for both private and public property shall relate to one other and the surrounding material colors within the neighborhood. Preferred colors include earth tones, and similar hues.
- B. Use of neon colors is prohibited.

- C. For areas with a predominance of historically significant buildings, the building colors shall be selected per the building style.

ROOF DESIGN

- A. Buildings shall have an architecturally significant roof treatment, consisting of, but not limited to, cornice treatments, roof overhangs with brackets, steeped parapets, richly textured materials, and or differently colored materials.
 - 1. Colored stripes/ bands on flat roofs are not permitted.

Cornices are encouraged. They may be simple or mixed (straight and curved moldings) and shall not exceed 24 inches in width (See Figure 49: Cornice Example).

FIGURE 48: CORNICE EXAMPLE



- B. The roof design for an addition shall either be the same as the existing building or shall be a combination that includes the existing design. The City may approve an alternative roof style for an expansion if the new roof is constructed in the same building style as the existing roof. Mansard roofs shall not be permitted unless part of the original building design and construction.
- C. Flat roofs shall be hidden from public view by a parapet between two (2) feet to four (4) feet in height. The parapet silhouettes may be straight, in circular segments, or in a combination of straight and circular segments.

LANDSCAPING AND SCREENING

(Section 7.06.00 of the City of Zephyrhills LDC for Landscape Screening and Buffering Standards shall apply except that sections 7.06.04.01(c)(4) Type D Buffer, 7.06.04.01(c)(6) Vehicular Use Areas, and 7.06.04.01(c)(7) Foundation Planting shall not apply within the CRA and shall be replaced by the standards below. In addition, the standards below shall replace the Landscape Standards outlined in the Form-Based Code Section 4.8).

Vision: *Landscape design shall enhance architectural features, visually screen dissimilar uses and unsightly views, strengthen important vistas, and reinforce neighboring site design and architecture.*

GENERAL

Trees shall be a minimum 3" caliper at time of installation.

FRONTAGE LANDSCAPING

The frontage landscaping standards below are intended to help define the public realm along the street frontage, by providing visual interest, softening the rigid nature of the built environment, and providing shade for pedestrians.

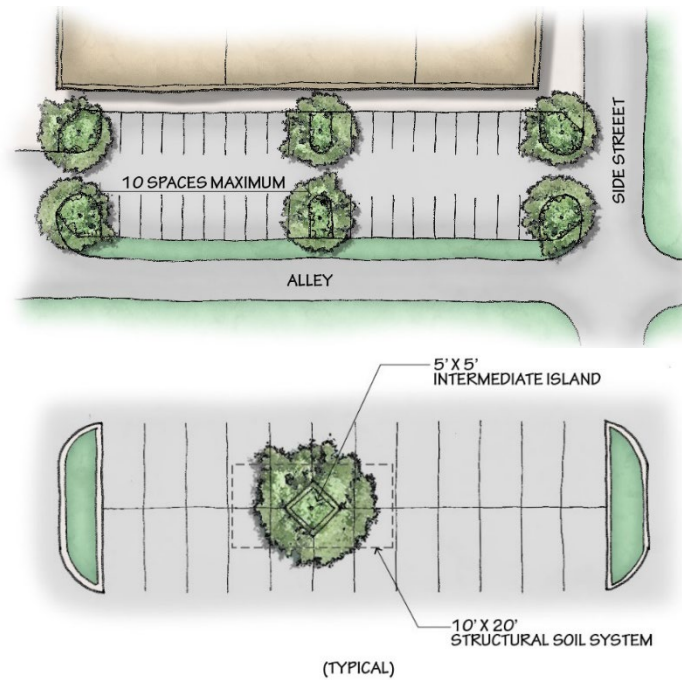
- A. Street Trees shall be provided along the entire frontage of the project equaling one (1) street tree per every 40 linear feet of frontage less the total linear feet of driveways.
 - 1. Street trees shall be installed in a minimum 5-feet by 5-feet planting area.
 - 2. Street trees shall be selected from the Approved Street Tree List provided within these standards (see Landscape Materials).
 - 3. For street trees along Gall Blvd or 5th Avenue, street tree planting areas shall utilize either tree grates or paver grates around the base of the tree, allowing for the mature size of the tree trunk in the initial design of the grate.
 - 4. Street trees on roads other than Gall Blvd or 5th Avenue shall install the required street trees either in the required landscape verge, or behind the sidewalk within the City Right-of-Way.
 - 5. For projects with buildings directly adjacent to the public Right-of-Way, the required number of street trees may be reduced by one (1) tree for every 40 linear feet of approved awning or arcade which provides shade and unrestricted public use, however, the reduction shall not equal greater the 50% of the required number of street trees.
- B. Additional landscaping along the frontage in the form of potted plants, manicured vines or other appropriate solutions to help define and articulate the project architecture is encouraged but is not required. Additional frontage landscaping shall not encroach on the minimum sidewalk area as defined within these standards.

PARKING LOT LANDSCAPING

The parking lot landscaping standards below are intended to reduce the negative effects of large expanses of surface parking, by breaking up the parking rows with trees and landscaping, providing visual interest and shade for users of the parking areas.

- A. Landscaped Islands shall be provided throughout the parking lot as follows:
 - 1. All landscaped islands shall contain one (1) parking lot tree and continuous groundcover or shrubs throughout.
 - 2. Parking lot trees shall be selected from the Approved Parking Lot Tree List within these standards.
 - 3. There shall be a terminal island at both ends of every row of parking.
 - 4. Terminal Islands shall be a minimum width and length as the parking spaces within the row that they terminate (See Figure 50: Parking Lot Landscaping).
 - 5. There shall be intermediate islands such that there are never more than ten (10) continuous parking spaces within a parking row without being interrupted by an intermediate island.

FIGURE 49: PARKING LOT LANDSCAPING



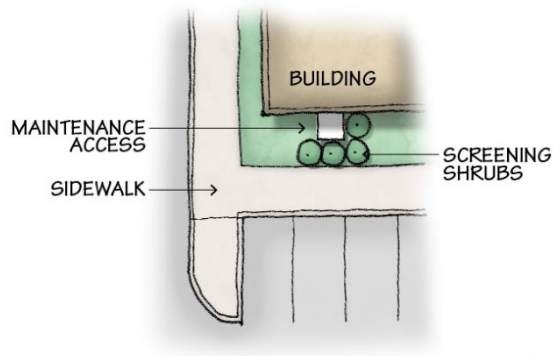
6. Intermediate islands shall generally be the same width and length as the parking spaces they interrupt, however may be smaller if an approved structural soil system is utilized under the adjacent parking area to provide a minimum of 200 square feet of soil area for the tree root system.
 7. All landscaped islands and other landscaped areas within parking lots or other vehicular use areas of the site shall be protected by continuous curbing or curb stops.
 8. Where parking areas are adjacent to street frontages, including alleys, a minimum of 5-feet of separation is required from the parking lot back-of-curb to the street back-of-curb or sidewalk if present.
- B. Additional parking lot landscaping, such as continuous islands between parking blades or other appropriate solutions to help define and articulate the project layout is encouraged.

SCREENING

The screening standards below are intended to minimize views of unsightly project areas. However, the use of CPTED standards may be cause for variations in design and construction. Such variations shall be noted including justification as part of any permit application.

- A. Screening shall be used between public use areas and unsightly project areas.
- B. Public use areas shall mean any area of the project that is used by the public, such as but not limited to sidewalks, parking areas, courtyards, passageways, and seating areas.
- C. Unsightly project areas shall include areas such as but not limited to, outside storage, waste receptacles, above ground utilities such as transformer pads and irrigation equipment, loading docks or loading areas, and air conditioning units.
- D. Screening may consist of one of the following:
 1. Continuous evergreen row of shrubs which achieve a minimum mature height of 6-feet. Shrubs shall be in a minimum 4-feet wide landscape area (See Figure 51: Screening).
 2. Continuous built wall or divider which is consistent with the overall character of the project architecture.

FIGURE 50: SCREENING



- E. Screening shall be used to block 100% of views to unsightly project areas from public use areas except as is necessary to provide maintenance or service access.

STREETWALLS

Streetwalls are low or semi-solid walls intended to provide the continuation of building volumes along a street and are only required along 5th Avenue, Gall Boulevard, and side streets or alleys within 2 blocks of 5th Avenue or Gall Boulevard as described below (See Figure 52: Streetwalls).

FIGURE 51: STREETWALLS



- A. A streetwall shall be required where the building has not met the Principal Building Frontage requirements as outlined in the FBC.
- B. Where a surface parking lot abuts a public street, a streetwall shall be required on the setback line as outlined in the FBC.
- C. Where a surface parking lot abuts a public alley, a low hedge not greater than 3 feet high or a streetwall shall be required. The hedge or streetwall shall be setback a minimum of 3 feet from the alley right-of-way.
- D. Breaks in streetwalls are permitted to accommodate pedestrian and vehicle access and tree protection.
- E. Streetwalls shall be permitted but shall not be required in cases where a building does not meet the Principal Building Frontage requirements in order to provide public space such as courtyards, plazas, or similar for unrestricted public use.
- F. Streetwalls shall be a minimum of three (3) feet and a maximum of five (5) feet in height. Walls greater than three (3) feet in height above grade shall be no more than fifty percent (50%) solid.
- G. Streetwalls shall be constructed of wrought iron, brick, masonry, stone or other decorative materials consistent with the overall project. Chain link and wood are not allowed.

LANDSCAPE MATERIALS

GENERAL:

Landscape plans shall be required for certification at installation prior to certification of occupancy by all developments and/ or redevelopments excluding single-family and/ or duplexes. A licensed landscape architect shall prepare landscape plans. The plant palette used within the City of Zephyrhills CRA shall be composed of a minimum 50 percent native species and nursery stock grown within the region. Trees, shrubs and similar shall, at a minimum, meet Florida No. 1 standards. Plants that are identified as category I and II invasive species are prohibited. Plant species should complement the design of previously installed portions within the CRA, applying the design precedence observed for previously-approved parking lots, buffers, building foundations, and internal roadway plantings.

TREES

Vision: *An urban forestry maintenance program is invaluable to the health and safety of the urban forest. An overview of key policies and standards is provided below. (Refer to Sec. 7.06.03.01 of the City of Zephyrhills LDC for Landscape Installation requirements and Sec. 7.06.05 of the City of Zephyrhills LDC for Landscape Maintenance requirements).*

ACCEPTABLE TREES

The following list of trees are acceptable for use within the CRA.

TREES	PALM TREES
BALD CYPRESS	CABBAGE PALM
BOTTLE BRUSH	CANARY ISLAND DATE PALM
CRAPE MYRTLE	PINDO PALM
DAHOON HOLLY	WASHINGTON PALM
DRAKE ELM	
JAPANESE BLUEBERRY	
LIGUSTRUM	
LIVE OAK	
NUTTALL OAK	
SWEET GUM	
SYCAMORE	

SELECTION

- A. Florida Fancy or Florida #1, per Florida Nurserymen's Grades and Standards shall be required. *It is also very important to ensure trees selected do not have girdling roots. Girdling roots are often hidden and can eventually wrap around the trunk of the tree and essentially strangle it years down the road.*
- B. Girdling roots often occur in container grown trees; and therefore, field grown trees are required.

Roots Plus Growers (RPG) guarantees the best quality hardened off tree available. All RPG trees are held until new roots develop and are ready to start growing into the landscape. RPG trees are recommended when available.
- C. Trees shall be tagged at the nursery and further inspected upon delivery to the project site, to ensure the best quality trees are provided, per required Florida Nurserymen's Grades and Standards and as recommended above.

SOIL VOLUME

Vision: *Soil Volume is important to the long-term health of trees. Trees typically do not thrive in small, overly compacted soil volumes and often make it several years before they begin to decline due to inadequate soil volume.*

- A. It is required that the soil be provided per industry best practice standards to promote stability in the future health of each tree.

TREE TRANSPLANTING

- A. Project specific tree mitigation notes shall be provided for every project containing existing trees and trees proposing to be relocated.
 - 1. These plans and specifications shall be prepared by a registered landscape architect, International Society of Arboriculture (ISA) Certified Arborist, or Registered Consulting Arborist.
 - 2. In addition, transplanting shall be performed by an ISA Certified Arborist or Registered Consulting Arborist with experience transplanting and establishing trees of similar size and species.

PLANTING

- A. Trees shall be planted per industry best practice standards to promote stability in the future health of each tree.

WATERING

- A. Trees shall be watered per industry best practice standards to promote stability in the future health of each tree.

WEED CONTROL

- A. A regular maintenance program shall be implemented for weed control and shall at a minimum include:
 - 1. Pre-emergent herbicides applied in spring and fall.
 - 2. Monthly (or as needed) weeding with approved herbicide such as Roundup.
 - 3. Removal of all weeds by hand monthly.

MULCH

- A. At a minimum, the following mulching standards shall be applied:
 - 1. A three (3) inch layer of mulch shall be maintained and replenished as needed for the first three (3) years.
 - 2. Mulch shall be kept one (1) foot away from the bases of all trees and palms.
 - 3. Mulch shall be pine bark, melaleuca, eucalyptus, or other sustainably harvested hardwood mulch.
 - 4. Supplemental mulch shall be of the same type and quality originally applied to the project.

PEST CONTROL

- A. Trees shall be inspected regularly for pests and disease and shall be treated appropriately (*Refer to Sec. 7.06.04 of the City of Zephyrhills LDC for Tree Replacement Requirements.*)

FERTILIZATION

- A. Trees shall be fertilized regularly (minimum of three (3) times in first year), or as needed to maintain a healthy growing condition, free of symptoms of nutritional deficiency or undesirable appearance.
 - 1. Fertilizer content and frequency shall depend on soil conditions and tree species.

PRUNING

Vision: *Improper pruning techniques have a dramatic and adverse effect on trees. Each tree species shall have a different level of pruning intensity, especially during establishment. This section is intended to provide general guidance in proper pruning techniques.*

- A. The following is required:
 - 1. Pruning cuts shall be in accordance with American National Standards Institute (ANSI) A300 pruning standards.
 - 2. Remove dead and damaged branches/ fronds.
 - 3. Young trees shall be pruned to develop strong branching patterns.
 - 4. Thin interior of canopy to promote air circulation.
 - 5. Provide clearance above sidewalks and roadways to avoid pedestrian and vehicular conflicts.
 - 6. Prune throughout the year (as needed) to keep trees within desired limits.
 - 7. Reduce potential hazardous conditions.
 - 8. Do not 'lollipop' or 'lion's tail'. These practices deform tree and reduce canopy that is vital to the health of the tree.
 - 9. Crape myrtles shall be minimally pruned (if necessary). Seed heads can be removed to pencil sized wood to encourage stronger blooming, but shall not be topped.
 - 10. Do not remove more than 20 percent (20%) of live foliage at any one time.
 - 11. Never cut the central leader.
 - 12. Prune palms yearly, or as needed.
 - a. Do not remove fronds growing horizontally or pointed upward, prune only from the 3-9 o'clock position
 - b. Cut fronds as close to the trunk as possible
 - c. Remove all inflorescences

CHAPTER 4: RESIDENTIAL STANDARDS

Successful residential design is a marriage between form and architecture to visually connect with the desired character of the area. A compatible structure is one that possesses patterns of form and architecture that are found in residential units creating “points of agreement” between them while retaining the individuality of the residence.

Quality urban design balances a respect for an area’s existing or desired pattern with the design of new structures.

SITE DESIGN STANDARDS

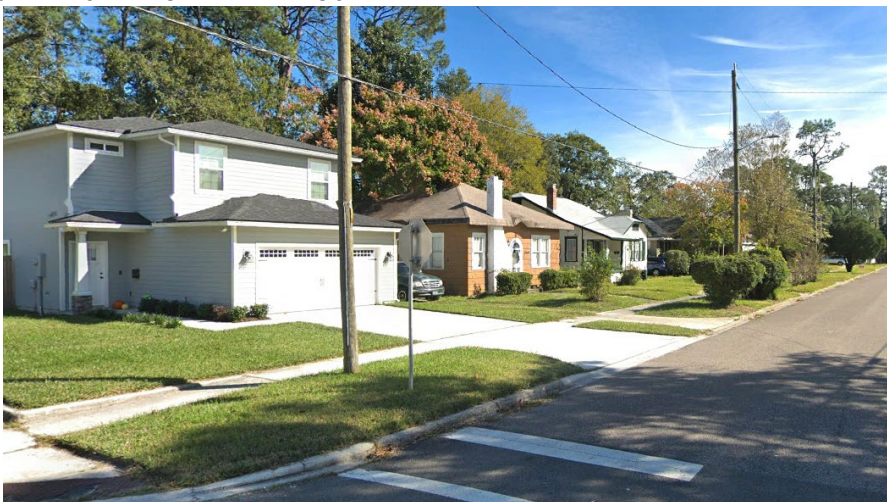
The intent of this section is to provide for uniform (consistent) application in the placement of buildings along a lot and or block, and not require setbacks which may be currently adopted which could be out of character with the historic development and building patterns established in the historic portions of the City.

BUILDING PLACEMENT

Standard:

- A. Along blocks whose historical building setbacks are less than those currently adopted by the City, the front yard setbacks may be provided consistent with the buildings along that block. Redevelopment may use an average of the setbacks of adjacent or abutting lots (See Figure 53: Typical Residential Block). However, shall be set back from the property line a minimum of 15 feet.
 - 1. Accessory dwelling units and structures including detached garages may be placed no less than five (5) feet from the side or rear property line. Please refer to the Accessory Structures section on page 18.
 - 2. Accessory dwelling units and structures shall not be placed in the front yard including front yards for corner lots.
- B. Corner lots may not encroach into the required site triangle for intersections.
- C. Except where necessary to meet Florida Building Codes or adopted easements (access, utility, drainage, etc.), the remaining building setbacks (side yard and rear yard), may be approved consistent with the structures within the same block.
- D. Porches including covered porches, stoops, awnings, and bay windows and wings may only extend into the front yard up to 5 feet. Encroachments may be permitted up to 50 percent of the total length of the respective façade.

FIGURE 52: TYPICAL RESIDENTIAL BLOCK



PARKING

Standard:

- A. Except for existing parking lots and existing residential driveways, parking in front yards including on grass areas, shall be prohibited; on-street parking, access to off-alley parking lots, or garage space underneath residential units shall be required (Refer to Parking, Parking Garages, and Alleys sections). Garage space provided underneath the residence shall be screened to buffer views and provide visual interest along the facade.
- B. If on-street parking is not feasible or permitted, access through alleys by adding curb cuts or allowing parking via a driveway in the front yard is required except where approved by the CRA Director and Public Works Director,
- C. For corner lots, driveways and off-street parking shall be from the side (secondary) street.
- D. Garage doors opening toward a public street shall be a minimum of 20 feet from the property line or back of sidewalk, whichever is greatest.
 - 1. Garage doors facing alleys may be placed within 15 feet of the property line providing the parking of vehicles does not encroach into the alley and or restrict access through the alley.
- E. In single family developments, including single-family houses, parking in front yards shall be limited to the width of the driveway; however, driveways shall be a minimum of ten (10) feet in width not to exceed twenty (20) feet in width.
 - 1. Paving Materials
 - a. Residents installing driveways shall consider retaining or reinstituting a grass strip separating two paved concrete or asphalt treads.
 - b. No grass, shell, gravel, dirt, or similar shall be permitted for parking areas or driveways (Refer to Sec. 7.03.04.02 of the City of Zephyrhills LDC).

FENCING

Vision: Appropriate fencing can help define the Neighborhood character as a whole as well as the individual property. Fencing should complement the architecture of the building.

Standard:

- A. Privacy fences are not permitted in the front yard including the front yard on corner lots.
- B. Fences within the front and side yards shall not exceed four (4) feet in height; in the rear yard shall not exceed six (6) feet. For the purposes of this Standard, the side yard is understood to be measured no less than five (5) feet of the front of the house measured along its front plane.
- C. Materials:
 - 1. Front and side yards: wrought iron, wood, or similar material made to mimic the appearance of these materials. Split face block, stucco or similar are also permitted
 - 2. Rear: all materials permitted in "A." above as well as PVC.
 - 3. Colors shall be black, white or earth tones.
 - 4. Materials including corrugated metal, exposed (plain) block, unpainted or unstained surfaces, shall not be permitted.

FIGURE 53: FENCE EXAMPLE



SIDEWALKS

Vision: *Zephyrhills is largely served by a grid network of sidewalks, although there are gaps in the system and places where sidewalks are in very poor condition. With changes in the intensity of land use—including new housing and downtown, retail and office space improvements—overall connections throughout Zephyrhills need to be improved.*

Standard:

- A. Residential sidewalks a minimum of 5-feet shall be provided along all public streets; the City may partner with the property owner to install a sidewalk 6-feet in width.
- B. The construction and or repair of sidewalks shall be coordinated consistent with the development of the adjacent property.
- C. Curbing, including gutters, shall be provided as may be required by the Public Works Director to direct stormwater flows and to separate pedestrians from automobile traffic.

BUILDING FORM STANDARDS

MASS/ SCALE/ HEIGHT

Vision: *Because houses were typically developed during the same era, there is consistency in the proportions of the older housing. One and one-half (1.5) and two and one-half (2.5) story houses are typical, and apartments generally had proportions similar to the larger homes.*

Standards:

- A. In preserving or restoring buildings, the redevelopment shall:
1. Maintain the original proportions of the front facade, including such critical elements as window and door openings and porches (See Figure 55: Residential Elements).
 2. Use like materials as the original construction (existing). The CRA Director may waive this standard if similar materials are not available and or the costs associated are deemed to be prohibitive to the overall redevelopment of the property.

FIGURE 54: RESIDENTIAL ELEMENTS



- B. In constructing new housing, the following shall be required:
1. Foundation heights shall be consistent with other houses in the neighborhood.
 2. Building size, height, bulk, mass, proportion, and scale shall be similar in height and size to other structures in the area and maintain the existing architectural rhythm. Structures should be no greater than 110 percent of the structures within the immediate area.
 3. Infill housing mass and scale shall be proportional to other houses on the block in terms of width and height with two and one-half (2.5) stories (i.e., 27 to 30 feet maximum) being a good proportion in most cases. (Refer to Section 7.11.03.10(C) of the City of Zephyrhills LDC for Development Requirements).
 4. With redevelopment of major portions of blocks for residential uses other than single family, the mass of the building shall be broken up with bays, wings, porches, and related features that are consistent with the historic patterns of development.
 5. Structures greater than 1 story in height shall provide a lower eave height of 12 feet from the top of the raised foundation.
- C. Accessory Dwelling Units/Detached Garages
1. Accessory dwelling units or detached garages shall be less than 50% the total square footage of the primary structure.
 2. The total height of accessory dwelling units or detached garages shall not exceed the total height of the primary structure.

BUILDING ORIENTATION

Standard:

1. The primary facades and entries shall face the primary street. Secondary facades and entries may be provided along the sides and rear.
2. Corner lots shall identify the primary façade and the corresponding primary street.

ARCHITECTURAL STANDARDS

Vision: Architecture refers to the relationship and culmination of the various features of a building residence including texture, proportion, entrance design, doors, windows, trim details, roofs, materials and color in addition to the mass and scale.

No one particular style or theme shall be mandated for any neighborhood. New residences may use a variety of architectural styles as appropriate to the intended use of the residence and the context of the surrounding area.

Standard:

The CRA Director shall review and approve façade plans. The architectural style of new residential development or redevelopment shall be consistent with the following (See Figure 56: Example Architectural Elements):

A. Required:

1. New development and redevelopment shall incorporate the primary architectural style or architectural elements found within the Neighborhood. Alternatives to this may be approved by the CRA Board upon recommendation of the CRA Director.

a. *Architectural elements that are subject to review and consideration include the following:*

- i. Trim detail
- ii. Porch(es)
- iii. Shutters
- iv. Window mullions/ casings
- v. Brick detail
- vi. Cornice detailing
- vii. Masonry exterior veneer
- viii. Lighting



FIGURE 55: EXAMPLE ARCHITECTURAL ELEMENTS



B. *Prohibited:*

1. Monotony created by repetition of housing styles, floorplans/layouts, architectural features, exterior colors, and landscape design for structures along the same street shall not be permitted.

FAÇADE DESIGN

Vision: All facades (sides) of a residence shall reflect a unified architectural treatment; however, there shall be a hierarchy of treatment based on location, function and level of pedestrian interaction. The specific standards for facades are divided into front, side and back facades. Façades shall use a combination of architectural details, materials, window and door patterns and other design features to form a cohesive and visually interesting design.

The design of the front of the residence is critical for the atmosphere to be created along the street front.

Standard:

A. Front of Residence

1. *Required:*
 - a. The front of a residence is the most highly designed side utilizing the following elements. All development and redevelopment shall provide no less than four (4) of the following items; the use of porches, shutters, stoops are preferred (See Figure 57: Architectural Elements).
 - i. A change in plane, building wall projection or recess
 - ii. Architectural features and fenestration
 - iii. Variety in color, material, texture
 - iv. Ornamental doors
 - v. Windows
 - vi. Porch(es)
 - vii. Awnings
 - viii. Shutters
 - ix. Arches, columns, stoops, cornices

FIGURE 56: ARCHITECTURAL ELEMENTS



2. Garage fronts shall occupy no more than 40% of the primary building façade; otherwise, the garage must be detached and recessed behind the residence front yard.

B. Side or Rear of Residence

Vision: A side or rear façade may face alleys, parking areas, or neighboring residences. The level of design along a side or rear façade, while perhaps not as intense as the front façade shall continue the architectural style of the residence and use the same quality of materials.

Standard:

1. *Required:*
 - a. Where visible from a public right of way, the side and rear façade(s) of the residence shall be designed and constructed to incorporate features of the primary façade regarding architectural style, materials, finish, color, and detail.
2. *Prohibited:*
 - a. Blank walls, where visible from a public right of way.

FACADES

Facades shall employ techniques to recess or project individual windows at least two inches from the façade or incorporate window trim at least four inches in width that features color that contrasts with the base building color. Exceptions will be considered if building employs other distinctive window or façade treatment that adds visual interest. Windows with no trim or relief is prohibited.

FEATURES

WINDOWS AND DOORS

Intent: Windows are a vital element, which link the private (space within a residence) and public (space such as streets, sidewalks, etc.) realms. Doors are also a vital element providing not only visual but, physical connections between the public and private realms.

A. *Required:*

1. Windows shall be appropriately sized for the scale and style of the residence on which they are located.
2. Windows within a development shall create a consistent and cohesive fenestration pattern.
3. Windows shall be similar in proportion to windows in neighboring residences or with established and or desired patterns along the adjoining block.
4. Doors shall enhance and support the architectural style of the residence.
 - a. In preserving or restoring buildings:
 - i. Original doors or windows shall be reused if possible.
 - ii. In replacing windows or doors, proportions and styles shall be selected which are appropriate to the original architectural features.
 - b. In constructing new buildings:
 - i. Window proportions shall be similar to historic housing in the area.
 - ii. Doors and storm doors shall be selected which are complementary to the typical doors used in the early development of the neighborhood.

B. *Prohibited:*

1. Blackened out windows or any other use of material that achieves that effect.
2. Boarded up windows (except during construction or during a reasonable repair period or subsequent to a weather advisory) or as required by the city to secure the residence.
3. Walls without windows along street frontages.

MISCELLANEOUS FEATURES

- A. Shutters and awnings shall be sized to match the corresponding window openings.
- B. Shutters and awnings shall be the shapes, materials, proportions, design, and color of which are in character with the style of the residence (See Figure 58: Miscellaneous Features).

- C. Fire stairs/egress shall be designed as unobtrusive as possible by matching the primary structure with regard to materials, design and color of the structure. Where feasible, they shall not be visible from the street.
- D. The inclusion of other architectural details and elements (railings, flower boxes, etc.) are encouraged and should be provided as appropriate to the style and function of the residence.
- E. Gutters, downspouts, utility boxes, meters, etc. shall be located as visually unobtrusively as possible. Where feasible, they shall not be visible from the street.
- F. *Prohibited:*
 - 1. Awnings made of high-gloss or fabrics which appear to be plastic.
 - 2. Satellite dishes mounted on the front of the residence.

FIGURE 57: MISCELLANEOUS FEATURES



PORCHES

Porches serve as outdoor living spaces, a place to enjoy pleasant weather, and to socialize. In Zephyrhills, they continue to define neighborhood architecture and provide security, and aid in an aspect of "neighborhood watch" (See Figure 59: Porches).

- A. In preserving or restoring buildings:
 - 1. Maintain open front porches.
 - 2. Replace posts and railings with wooden or other similar components.

FIGURE 58: PORCHES



- B. In constructing new housing:
 - 1. Provide porches whose proportions are similar to features in the block and are constructed of materials which complement the housing.
 - 2. Porches shall be a minimum of 5 feet in length and a minimum of 5 feet in width (See Figure 60: New Construction Porch).

FIGURE 59: NEW CONSTRUCTION PORCH



MATERIALS

The correct choices of residential building materials are paramount in the success of any development. Residences shall be constructed of high quality, long lasting materials to contribute to Zephyrhills' stability, character, and pedestrian experience. Important character defining details such as brick patterns, joint spacing and color shall be incorporated into the design.

A. Required:

1. Use of the following durable materials: brick, stucco, wood, Hardy siding, or stone.

B. Prohibited:

1. Vinyl or aluminum siding.
2. Unfinished block walls.

Colors

- A.** Building colors shall be selected based on architecture of the building (each style has a range of characteristic colors) and trying to achieve harmony with adjacent buildings. For areas with a predominance of historically significant buildings, it is recommended that the building colors be selected according to the building style.

ROOF

Intent: Roof forms are one of the most highly visible components of a residence. Not only do they provide a vital function, but they contribute to and are integral to the overall residential design through the use of distinctive, defined styles and decorative patterns and colors (See Figure 61: Roofs).

A. In preserving or restoring:

1. Repair or replace extraordinary features such as slate or tile.
2. Select shingle (type and style) which complements color and form.

3. Maintain the roof line of historic structures.
- B. In constructing new buildings:
1. Select a roof pitch which is consistent with other houses on the block.
 2. Use roofing materials which are in keeping with historic patterns of development.

Standard:

C. *Permitted:*

1. Roof pitches, designs or similar not prohibited below.

D. *Prohibited:*

1. Roof pitches less than 3.5/12 except with the approval by the CRA Director.
2. Colored stripes/bands on flat roofs.
3. Flat roofs within public view from grade not hidden by a parapet or other architectural feature.
4. Roofs inconsistent with the architectural style of the residence.

FIGURE 60: ROOFS



LIGHTING:

Vision: *Lighting and light fixtures shall be part of an overall design plan and their design and placement appropriate to the residence to which they shall serve. When unlit, lighting fixtures can impact a residence or space through the physical form of the fixture. At night, lighting can create atmosphere through the level of intensity and color of the light emitted.*

A. Required:

1. Light fixtures that are designed to respect, enhance and contribute to the architectural style, detailing and elements of a residence.

B. Prohibited:

1. Lighting which illuminates adjacent properties including the use of flood lights.

UTILITIES

Standard:

A. Required:

1. Central air conditioning components and similar shall be located in the rear of the structure. Where not possible, the CRA Director may approve the location in the side yards; however, components shall be screened from view from public roads.
2. Utility boxes, meters, etc. shall be located on the rear or sides of the structure; and shall be screened and or not be visible from the street as possible except where precluded by the utility provider. Items may not be placed on the front of the house.

B. Prohibited:

1. Any utilities or service equipment located in a manner visible from the public right-of-way or on the primary and corner façades, unless deemed necessary by utility company.

LANDSCAPING AND SCREENING STANDARDS

There are details which bring harmony to an overall neighborhood, including fences and landscaping.

LANDSCAPING AND SCREENING

A. With preservation, restoration or new construction.

1. Fences; See Residential Standards, Fences above.
2. Trees; Provide yard trees to develop a consistent harmony in the landscape on the street. A minimum of two (2) canopy trees shall be provided for each lot. The CRA Director may approve alternative landscape designs and plantings.
3. Yards shall be planted or sodded with grass.